



City of High Point

Municipal Office Building
211 S. Hamilton Street
High Point, NC 27260

Meeting Agenda

Finance Committee

Britt Moore, Mayor Pro Tem, Chair

Committee Members:

Michael Holmes

Monica Peters

Victor Jones

Jay Wagner, Mayor (Alternate)

Thursday, February 11, 2021

4:00 PM

3rd Floor Conference Room

As part of the city of High Point's on-going COVID-19 mitigation efforts, in-person attendance will not be allowed at this meeting. Instead, the meeting will be live-streamed and the public can listen to the meeting as it is being live-streamed by clicking on the following link www.HighPointNC.gov/VirtualPublicMeeting.

FINANCE COMMITTEE - Mayor Pro Tem Britt W. Moore, Chair

CALL TO ORDER

PRESENTATION OF ITEMS

[2021-56](#)

Resolution - Sale of City Owned Property - 229 Near Fisher Avenue

City Council is requested to adopt a resolution accepting the offer of \$1,500.00 and authorizing the sale of the City owned property at 229 Near Fisher Avenue through the upset bid procedure of N.C.G.S. 160A-269 and direct the City Clerk to publish a public notice of the proposed sale in accordance with N.C.G.S. 160A-269.

Attachments: [FINAL_229 Near Fisher Avenue](#)

[2021-57](#)

Contract - Designa Southern Time - Parking Access & Revenue Control System - S. Main Parking Facility

City Council is requested to award a contract to Designa Southern Time in the amount of \$76,242.00 for the purchase and installation of a new PARC system for the Main Street garage and authorize the appropriate City official and/or employee to execute the necessary documents.

Attachments: [FINAL_Parking Upgrades_Main St Designa ST proposal](#)

[2021-58](#)**Contract Amendment - Wooten Company - Riverdale Sewer Lift Station "West Force Main"**

City Council is requested to approve Contract Amendment #1 with Wooten Company in the amount of \$120,000.00 to provide additional contract administration and construction observation services for the Riverdale Sewer Lift Station "West Force Main" project and that the appropriate City official and/or employee be authorized to execute the necessary documents.

Attachments: [FINAL Wooten- West Force Main Project - Amendment I2321](#)

[2021-59](#)**Change Order #4 - Breece Enterprises, Inc. - Water & Sewer Emergency Repairs**

City Council is requested to approve Change Order #4 with Breece Enterprises, Inc. in the amount of \$500,000.00 for the emergency repair of water and sanitary sewer utilities and that the appropriate City official and/or employee be authorized to execute the necessary documents.

Attachments: [FINAL Water Sewer Emergency Repairs Change Order](#)

PENDING ITEMS[2020-528](#)**Resolution- Proposed System Development Fee**

The required public hearing for this matter was held on Monday, December 21, 2020 at 5:30 p.m. At that time, action was taken to refer this matter to the Finance Committee for further discussion regarding adoption of a proposed System Development Fee assessed by the Water and Sewer Funds according to the provisions of GS 162A, "North Carolina Water and Sewer Authorities Act." Staff recommends the proposed System Development Fees become effective October 1, 2021.

Attachments: [FINAL Resolution System Development Fee.pdf](#)

[FINAL System Development Fee Public Hearing.pdf](#)

[TREBIC doc](#)

ADJOURNMENT

DRAWN BY: JoAnne Carlyle, High Point City Attorney
P. O. Box 230, High Point, NC 27261

MAIL TO Grantee: 801 W. Ray Ave., High Point, NC 27262

Property: Tax Parcel # 188762 Address: 229 near Fisher Ave., High Point, NC
Doc Stamps: Exempt

NORTH CAROLINA

QUITCLAIM DEED

GUILFORD COUNTY

THIS QUITCLAIM DEED, made and entered into this _____ day of March, 2021 by and between the **CITY OF HIGH POINT**, a North Carolina Municipal Corporation (P.O. Box 230, High Point, NC 27261) hereinafter referred to as the GRANTOR, and, **PAUL D. WEIPERT & wife JANET E. BROWN**, (801 W. Ray Ave., High Point, NC 27262), hereinafter referred to as GRANTEE;

WITNESSETH:

WHEREAS, the GRANTOR, subject to and in consideration of the conditions set forth and the further sum of Fifteen Hundred and No/100's Dollars \$1,500.00 to it paid by GRANTEE, the receipt of which is hereby acknowledged, has quitclaimed and by these presents, does quitclaim unto GRANTEE, its successors and assigns, all right, title and interest which GRANTOR has in and to the tract or parcel of land in the County of Guilford, State of North Carolina, High Point Township, and more particularly bounded and described as follows:

See attached "Exhibit A"

The property hereinabove described was acquired by the GRANTOR by instrument recorded in Book 2397, Page 677-679.

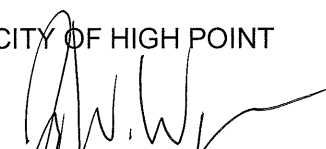
TO HAVE AND TO HOLD, the aforesaid tract or parcel of land and all privileges thereunto belonging to the GRANTEE, its successors and/or assigns, free and discharged from all right, title, claim or interest of the GRANTOR and subject to any easements, restrictions, and right-of-way, if any, and ad valorem taxes for current and subsequent years.

GRANTOR makes no warranty, express or implied, as to the title of the Property.

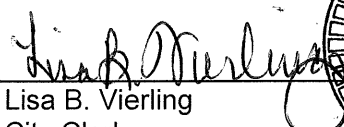
IN WITNESS WHEREOF, the GRANTOR has caused this Deed to be executed in its corporate name by its Mayor, attested by its Clerk, the day and year first written above.

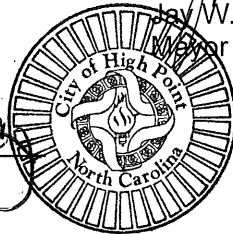
CITY OF HIGH POINT

By:


Jay W. Wagner
Mayor of the City of High Point

Attest:

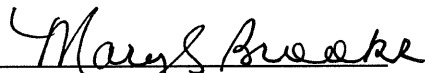

Lisa B. Vierling
City Clerk



NORTH CAROLINA
GUILFORD COUNTY

I, Mary S. Brooks, a Notary Public of Guilford County and State aforesaid, do hereby certify that Lisa B. Vierling personally appeared before me this day and acknowledged that she is City Clerk of the City of High Point, and that by authority duly given and as an act of the said City, the foregoing instrument was signed in its name by its Mayor, and attested by herself as its City Clerk.

WITNESS my hand and official seal, this the 2nd day of March, 2021.


Notary Public

My commission expires:

July 26, 2023

MARY S BROOKS NOTARY PUBLIC GUILFORD COUNTY, NC My Commission Expires <u>7-26-2023</u>

Exhibit A

BEGINNING at a point in the southern margin of Fisher Avenue, said point being located South 05 degs. 00 min. East 9.6 feet from the common northern corner of Lots 19 and 20 of the Wesley Hedgewock lands, Plat Book 4, Page 89, and running to the left along a curve having a radius of 214.11 feet, North 72 degs. 19 min. West, a chord length of 44.39 feet to a point; thence South 32 degs. 21 min. East 94.33 feet to a point; thence North 05 degs. 00 min. West 93.55 feet to the Point and place of Beginning.



Executive Summary

Mission Statement

The Oakwood Community Development Corporation shall serve low-income, homeless, and unemployed persons in Guilford County, North Carolina, specifically in the High Point community, through a variety of services designed to feed, clothe and provide information about resources for employment and housing opportunities.

The Need

Traditional shelters provide bedding services on an evening-to-morning basis. Staff and members of the CDC will work to provide the necessary programs that will give homeless and low income individuals a haven between traditional shelter hours where they can receive a good meal or food assistance, utilize shower and bathing facilities, and obtain information with connections for upward mobility assistance through partnership programs. The Oakwood CDC will strive to partner with other community organizations and local entities to create a streamline process for one-stop servicing of individuals in need of assistance.

With the operation of our proposed facility and program outreach, we expect to reduce the number of homeless individuals who wander the city streets during the daytime by providing them with a location that will serve their personal needs and help them obtain employment and reasonable housing opportunities. In recognition of the upcoming professional stadium and other recreational facilities being constructed in the near downtown area of High Point, we want to prepare individuals to obtain gainful employment in these new ventures and become contributors to a better High Point. We want to provide help and a helping hand to those in need.



8065 Leesburg Pike, Suite 300
Vienna, Virginia 22182
T 703.807.2020 F 703.807.1122
www.keelpoint.com

January 4, 2021

Mr. Kevin Sanders
301 Lakeshore Drive
Thomasville, NC 27360

RE: Gift Commitment

Dear Mr. Sanders,

It is the intent of my client, the Siochain Foundation, to pay for 50% (up to \$300,000) of the construction costs for the proposed Oakwood Center Building which is currently estimated to cost \$600,000. The formal pledge/gift agreement is currently being drafted and we anticipate having the executed agreement to you by next week.

If you have any questions, or if I can provide any additional assistance, please call me at 703-226-2142 or email me at jmoore@keelpoint.com.

Best wishes,

A handwritten signature in blue ink, appearing to read "J. A. Moore", written over a light blue horizontal line.

Joseph A. Moore, CFP®

CITY OF HIGH POINT

AGENDA ITEM



**Title: Water & Sewer Emergency Repairs – Change Order #04
Breece Enterprises Inc.**

From: Trevor Spencer – Engineering Services Director **Meeting Date:** February 15, 2021

Public Hearing: N/A

Advertising Date: May 6, 2020 & May 29, 2020

Advertised By: Purchasing

Attachments: Change Order #04
Attachment A – Bid Tab

PURPOSE:

The City annually awards a contract to assist the Water and Sewer Mains Division with the emergency repair of water and sanitary sewer utilities. This contract is funded by the Public Services Department, and is administered by the Engineering Services Department.

BACKGROUND:

A contract was awarded to Breece Enterprises, Inc for \$650,725.00 by City Council on June 15, 2020. The Water/Sewer Mains Division has nearly exhausted the funds allocated by the contract due to division staffing impacts created by Covid-19 and an extraordinarily high number of emergency repairs that have been performed since July 2020. The Public Services Department is requesting that a change order be approved to increase the purchase order for the water and sewer emergency repairs contract to cover future emergencies from now to the end of the fiscal year.

BUDGET IMPACT:

Funds for this contract are available in the FY 2020-2021 budget.

Accounts:

421779 533701 421001012805 40201-Water

421779 533701 421001010205 40201-Sewer

RECOMMENDATION / ACTION REQUESTED:

On behalf of the Public Services Department, the Engineering Services Department is recommending that Council approve the change order for \$500,000.00 to increase of the purchase order for Breece Enterprises, Inc. from \$650,725.00 to the amount of \$1,150,725.00 and that the appropriate City official and/or employee be authorized to execute all necessary documents.

CITY OF HIGH POINT

CHANGE ORDER/SUPPLEMENTAL AGREEMENT

P.O. BOX 230, HIGH POINT, NC 27261
ENGINEERING SERVICES DEPARTMENT



CHG. ORDER/SUP. AGREEMENT NO. 04	CONTRACT NO. ENG 2020-003	BID NO. 19-061020	CONTRACT: RE-Bid Water and Sewer Maintenance 2020-21
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TO: Breece Enterprises, Inc. High Point, NC
(CONTRACTOR)

You are hereby requested to comply with the following changes from the contract plans and specifications:

Description of Changes (Attach supplemental plans and specifications if necessary)	DECREASE In Contract Price	INCREASE In Contract Price
Extend the above described contract for additional work at the lump sum price(s): - ENG2020-003 Water and Sewer Maintenance 2020-2021 Contract Extension - Lump Sum Price = \$500,000.00		\$500,000.00
Justification and reason for change: Due to additional work under the current contract amount will be exceeded after the seventh month of the annual contract. Other than projected repairs there have been an extraordinarily large amount of emergency calls and Covid-19 related emergencies.		

Lawson Account Number: 421779 533701 421001012805 40201

\$250,000.00

Lawson Account Number: 421779 533701 421001010205 40201

\$250,000.00

Previous Contract Total:

\$650,725.00

The contract total including this, and previous Change Orders/Supplement Agreements will be revised to:

\$1,150,725.00

Revised completion date:

No Change

This document will become a supplement to the contract and all provisions will apply hereto:

Requested By: Benny Deal
(Construction Contracts Administrator)

1-26-2021
(Date)

Recommended: Timothy Spurr
(Engineering Services Director)

2/2/2021
(Date)

Accepted: [Signature]
(Breece Enterprises, Inc.)

1/26/21
(Date)

Approved: _____
(City of High Point)

(Date)

Approved: _____
(Finance Department)

(Date)



Bidders Tabulation

Contract Number: 2020003

Awarded For: Water and Sewer Maintenance 20-21

Award Date:

Contractor:

Bidder: BREECE ENTERPRISES INC

Contract Set Number: 1

Total Bid Amount: \$650,725.00

Line #	Pay Item #	PayDesc	DOT	Paid By	UOM	Quantity	Bid Amount	Total
1	080000	STANDARD UTILITY CREW AND EQUIPMENT	SP	IT	HR	400.00	\$430.00	\$172,000.00
2	080010	STANDARD UTILITY CREW AND EQUIPMENT OVERTIME	SP	IT	HR	75.00	\$650.00	\$48,750.00
3	080020	SERVICE UTILITY CREW AND EQUIPMENT	SP	IT	HR	100.00	\$430.00	\$43,000.00
4	080030	SERVICE CREW AND EQUIPMENT OVERTIME	SP	IT	HR	75.00	\$650.00	\$48,750.00
5	080040	FLASHING ARROW PANEL TYPE C	SP	IT	DY	40.00	\$300.00	\$12,000.00
6	080050	CONES	SP	IT	EA	350.00	\$25.00	\$8,750.00
7	080060	DRUMS	SP	IT	EA	450.00	\$25.00	\$11,250.00
8	080070	BARRICADES TYPE III	SP	IT	EA	15.00	\$150.00	\$2,250.00
9	080080	BARRICADES TYPE II	SP	IT	EA	10.00	\$100.00	\$1,000.00
10	080090	WORK ZONE SIGNS (PORTABLE)	SP	IT	SF	2000.00	\$15.00	\$30,000.00
11	080100	INCIDENTAL STONE BASE	SP	DT	TN	120.00	\$50.00	\$6,000.00
12	080110	CLEAN STONE NO 57 FOR TRENCH STABILIZATION	SP	DT	TN	120.00	\$50.00	\$6,000.00
13	080120	SELECT BACKFILL MATERIAL CLASS I	SP	IT	CY	120.00	\$50.00	\$6,000.00
14	080130	TOPSOIL	SP	IT	CY	20.00	\$70.00	\$1,400.00
15	080140	PERMANENT SEEDING AND MULCHING	SP	FM	SY	200.00	\$15.00	\$3,000.00
16	080150	SIX INCH DUCTILE IRON WATER LINE	SP	IT	LF	75.00	\$25.00	\$1,875.00
17	080160	EIGHT INCH DUCTILE IRON WATER LINE	SP	IT	LF	75.00	\$25.00	\$1,875.00
18	080165	DUCTILE IRON FITTINGS	SP	C	LB	400.00	\$6.00	\$2,400.00
19	080270	6 INCH GATE VALVE	SP	IT	EA	3.00	\$700.00	\$2,100.00

20	080280	8 INCH GATE VALVE	SP	IT	EA	3.00	\$800.00	\$2,400.00
21	080290	6 INCH CUT IN VALVE	SP	IT	EA	3.00	\$800.00	\$2,400.00
22	080300	6 INCH X 6 INCH TAPPING SLEEVE WITH VALVE AND BOX	SP	IT	EA	3.00	\$1,000.00	\$3,000.00
23	080305	8 INCH X 6 INCH TAPPING SLEEVE WITH VALVE AND BOX	SP	IT	EA	3.00	\$1,000.00	\$3,000.00
24	080320	VALVE BOX	SP	IT	EA	4.00	\$125.00	\$500.00
25	080330	FIRE HYDRANT 4 1/2 FT BURY	SP	IT	EA	3.00	\$2,300.00	\$6,900.00
26	080340	6 INCH FIRE HYDRANT EXTENSION	SP	IT	EA	3.00	\$250.00	\$750.00
27	080350	12 INCH FIRE HYDRANT EXTENSION	SP	IT	EA	3.00	\$350.00	\$1,050.00
28	080360	18 INCH FIRE HYDRANT EXTENSION	SP	IT	EA	3.00	\$400.00	\$1,200.00
29	080370	CONCRETE THRUST BLOCKING	SP	IT	CY	5.00	\$350.00	\$1,750.00
30	080380	THREADED ROD	SP	IT	LF	50.00	\$10.00	\$500.00
31	080390	3/4 INCH COPPER SERVICE LATERAL	SP	IT	LF	30.00	\$10.00	\$300.00
32	080400	1 INCH COPPER SERVICE LATERAL	SP	IT	LF	30.00	\$20.00	\$600.00
33	080410	1 1/2 INCH COPPER SERVICE LATERAL	SP	IT	LF	25.00	\$25.00	\$625.00
34	080420	2 INCH COPPER SERVICE LATERAL	SP	IT	LF	25.00	\$30.00	\$750.00
35	080430	3/4 INCH METER BOX NON TRAFFIC BEARING	SP	IT	EA	5.00	\$200.00	\$1,000.00
36	080435	3/4 INCH POLYMER CONCRETE METER BOX TRAFFIC BEARING	SP	IT	EA	2.00	\$300.00	\$600.00
37	080440	1 INCH METER BOX NON TRAFFIC BEARING	SP	IT	EA	5.00	\$200.00	\$1,000.00
38	080445	1 INCH POLYMER CONCRETE METER BOX TRAFFIC BEARING	SP	IT	EA	2.00	\$300.00	\$600.00
39	080450	1 1/2 INCH METER BOX NON TRAFFIC BEARING	SP	IT	EA	2.00	\$300.00	\$600.00
40	080455	1 1/2 INCH POLYMER CONCRETE METER BOX TRAFFIC BEARING	SP	IT	EA	2.00	\$400.00	\$800.00
41	080460	2 INCH METER BOX NON TRAFFIC BEARING	SP	IT	EA	2.00	\$500.00	\$1,000.00
42	080465	2 INCH POLYMER CONCRETE METER BOX TRAFFIC BEARING	SP	IT	EA	2.00	\$700.00	\$1,400.00
43	080470	3/4 INCH CORPORATION STOP	SP	IT	EA	6.00	\$100.00	\$600.00
44	080480	1 INCH CORPORATION STOP	SP	IT	EA	3.00	\$150.00	\$450.00
45	080490	1 1/2 INCH CORPORATION STOP	SP	IT	EA	3.00	\$200.00	\$600.00
46	080500	2 INCH CORPORATION STOP	SP	IT	EA	3.00	\$500.00	\$1,500.00

47	080510	3/4 INCH METER SETTER	SP	IT	EA	3.00	\$300.00	\$900.00
48	080520	1 INCH METER SETTER	SP	IT	EA	3.00	\$500.00	\$1,500.00
49	080530	1 1/2 INCH METER SETTER	SP	IT	EA	3.00	\$1,000.00	\$3,000.00
50	080540	2 INCH METER SETTER	SP	IT	EA	3.00	\$1,200.00	\$3,600.00
51	080560	6 INCH REPAIR CLAMP	SP	IT	EA	4.00	\$400.00	\$1,600.00
52	080570	8 INCH REPAIR CLAMP	SP	IT	EA	4.00	\$500.00	\$2,000.00
53	080580	2 INCH REPAIR CLAMP	SP	IT	EA	3.00	\$200.00	\$600.00
54	080600	6 INCH MEGALUG	SP	IT	EA	4.00	\$100.00	\$400.00
55	080610	8 INCH MEGALUG	SP	IT	EA	4.00	\$100.00	\$400.00
56	080640	6 INCH AND 8 INCH BELL JOINT LEAK CLAMP	SP	IT	EA	3.00	\$300.00	\$900.00
57	080665	6 INCH WATER COUPLING	SP	IT	EA	8.00	\$300.00	\$2,400.00
58	080675	8 INCH WATER COUPLING	SP	IT	EA	8.00	\$400.00	\$3,200.00
59	080680	8 INCH VCP SEWER MAIN	SP	IT	LF	100.00	\$10.00	\$1,000.00
60	080690	8 INCH DUCTILE IRON SEWER MAIN	SP	IT	LF	100.00	\$60.00	\$6,000.00
61	080700	8 INCH SDR 26 SEWER MAIN	SP	IT	LF	100.00	\$10.00	\$1,000.00
62	080710	4 INCH CAST IRON SEWER LATERAL	SP	IT	LF	100.00	\$30.00	\$3,000.00
63	080720	4 INCH DUCTILE IRON SEWER LATERAL	SP	IT	LF	100.00	\$40.00	\$4,000.00
64	080730	4 INCH SCHEDULE 40 SEWER LATERAL	SP	IT	LF	100.00	\$10.00	\$1,000.00
65	080740	4 INCH CAST IRON COMBINATION WYE AND EIGHTH BEND	SP	IT	EA	8.00	\$200.00	\$1,600.00
66	080750	4 INCH DUCTILE IRON COMBINATION WYE AND EIGHTH BEND	SP	IT	EA	8.00	\$200.00	\$1,600.00
67	080760	4 INCH SCHEDULE 40 COMBINATION WYE AND EIGHTH BEND	SP	IT	EA	8.00	\$100.00	\$800.00
68	080770	4 INCH CAST IRON VERTICAL STACK	SP	IT	LF	10.00	\$20.00	\$200.00
69	080780	4 INCH DUCTILE IRON VERTICAL STACK	SP	IT	LF	10.00	\$40.00	\$400.00
70	080790	4 INCH SCHEDULE 40 VERTICAL STACK	SP	IT	LF	10.00	\$10.00	\$100.00
71	080800	4 INCH CAST IRON CLEANOUT	SP	IT	EA	10.00	\$100.00	\$1,000.00
72	080804	TRAFFIC BEARING CLEANOUT	SP	IT	EA	4.00	\$125.00	\$500.00
73	080810	MANHOLE RING AND COVER	SP	IT	EA	10.00	\$300.00	\$3,000.00

74	080820	REBUILD EXISTING MANHOLE 4 FT DIAMETER	SP	IT	LF	10.00	\$80.00	\$800.00
75	080830	REBUILD EXISTING SANITARY SEWER INVERT	SP	IT	EA	10.00	\$200.00	\$2,000.00
76	080840	SANITARY SEWER MANHOLE BASE 2 FT HEIGHT INCLUDING INVERT	SP	IT	EA	4.00	\$300.00	\$1,200.00
77	080850	SANITARY SEWER MANHOLE BASE 3 FT HEIGHT INCLUDING INVERT	SP	IT	EA	4.00	\$400.00	\$1,600.00
78	080860	SANITARY SEWER MANHOLE BARREL SECTION	SP	IT	LF	16.00	\$75.00	\$1,200.00
79	080880	FLAT TOP FOR 4 FT DIAMETER SANITARY SEWER MANHOLE	SP	IT	EA	4.00	\$500.00	\$2,000.00
80	080890	4 FT DIAMETER SANITARY MANHOLE CHP STANDARD 300 0 ET 4 FT INCLUDING RING AND COVER	SP	IT	EA	4.00	\$1,200.00	\$4,800.00
81	080900	4 FT DIAMETER SANITARY MANHOLE CHP STANDARD 300 6 ET 8 FT INCLUDING RING AND COVER	SP	IT	EA	4.00	\$1,300.00	\$5,200.00
82	080910	8 INCH X 8 INCH FLEXIBLE COUPLING	SP	IT	EA	4.00	\$100.00	\$400.00
83	080920	4 INCH X 4 INCH FLEXIBLE COUPLING	SP	IT	EA	4.00	\$100.00	\$400.00
84	080925	4 INCH SEWER TRANSITION COUPLING	SP	IT	EA	4.00	\$100.00	\$400.00
85	080930	8 INCH X 4 INCH SEWER SADDLE	SP	IT	EA	4.00	\$50.00	\$200.00
86	080940	FLAGGERS	SP	IT	HR	100.00	\$30.00	\$3,000.00
87	080950	HAULING AND DISPOSAL OF WASTE - TANDEM LOAD	SP	IT	EA	25.00	\$375.00	\$9,375.00
88	080960	HAULING AND DISPOSAL OF WASTE - FLATBED LOAD	SP	IT	EA	25.00	\$375.00	\$9,375.00
89	080970	SUBSURFACE EXPLORATION	SP	IT	HR	20.00	\$425.00	\$8,500.00
90	080980	ASPHALT PLANT MIX PAVEMENT REPAIR	SP	DT	TN	350.00	\$260.00	\$91,000.00
91	080990	2 FT - 6 INCH CONCRETE CURB AND GUTTER	SP	IT	LF	75.00	\$90.00	\$6,750.00
92	081100	4 INCH CONCRETE SIDEWALK	SP	IT	SY	60.00	\$90.00	\$5,400.00
93	081120	6 INCH CONCRETE DRIVEWAY	SP	IT	SY	35.00	\$90.00	\$3,150.00
94	081130	CONCRETE CURB RAMP	SP	IT	EA	4.00	\$1,000.00	\$4,000.00

OAKWOOD COMMUNITY DEVELOPMENT CORPORATION
HOMELESS DAY CENTER
210 Oakwood Street, High Point, North Carolina

Summary

The Center seeks to serve the homeless population in the City of High Point by creating a community center for the homeless to visit and be helped between the daytime hours when the local shelters are closed. By opening a daytime facility, it is our aim to provide a place for those with no place to go during prime daylight hours. The counter effect should assist the City of High Point, which constantly confronts issues of trespass and potential loitering by these individuals. As we serve and build one group, we expect a domino effect that should preserve local businesses, city and county properties that are often occupied with these same individuals loitering during essential business hours.

This Strategic Plan seeks to initiate changes to support the City of High Point to better address the homeless daytime population and meet the needs of this disenfranchised group while promoting social and community cohesion of all affected parties. We want to help homeless individuals improve their lives and wellbeing as they seek to reemerge in society. We will offer hygiene facilities—bathrooms, showers with toiletries—whereby our homeless guests can refresh themselves while providing refreshments and nourishment (nonalcoholic beverages, pastries, sandwiches, fruit, etc.) for their meal needs during daytime hours. Along with the above we intend to offer reading space and television lounges during activity hours around instructional and life skills and spiritual reflection sessions.

Community Center Strategic Plan Guiding Principles

The recommendations contained in this Strategic Plan are informed by the following Guiding Principles: 1. Meet the needs of a changing community of homeless, business and city citizens. Every decision and assistance we make is grounded by a desire to meet the ever evolving needs of disenfranchised individuals while supporting the forward growth of the city.

2. Promote social equity. With proper resources, we focus on meeting the needs of unserved and underserved people in our city while providing them support to rise above their dire personal situations.

3. Be effective and efficient. We will use ongoing evaluation and learning to achieve the greatest gains from our resources for our guests.

4. Seek to instill personal and community pride in this underserved population so that they will want to improve their lives and become positive contributing community supporters.

5. Ensure safety, cleanliness, and accessibility. We will ensure sufficient staffing to maintain a safe environment, and prioritize safety, cleanliness, accessibility, and other immediate needs.
6. Build and maintain a great team. While our facilities are important, our staff is critical. Key to our success will be our ability to attract, develop, and retain the best staff.

Operations

The Plan makes several recommendations to provide center operations, including:

- Maintain access and affordability. No fees will be charged to our homeless guests. However, we will endeavor to qualify and receive grants, donations and community support to meet the needs of the center
- Adjust operating hours and staff capacity to properly serve the needs of guest participants.

Facilities

We seek to build an adequate facility to accommodate the different program, service and administrative thrusts of the center. We envision a two-story building with separate gender bathroom/shower/locker room areas, administrative/reception areas, instructional rooms for life skills and other training, commercial kitchen and storage space, and recreational leisure rooms for activities. Therefore we will seek funding opportunities and community partners to help with the construction phase needs of the capital project.

Proposed Day-to-day Operation

Hours and Staffing: To open our doors to provide services 9am – 4:30pm? Daily or M-Sat. We expect to hire a few full-time administrators (director, counselor?) and utilize part-time staff and volunteers to help defray administrative costs.

-At the morning opening time, we will check in our guests via paper sign-in and activity sheets to document the services each guest will participate in, and also maintain electronic databases to record of attendance, services chosen and numbers served over periods of time. Guests will check into the facility in the lobby area and then proceed to the various services offered for the day in shifts to maintain order and efficiency.

-At the end of the day, we will also have guests sign out or check out as they leave during the day.

-After closing, staff will proceed to clean and prepare the building and its rooms for the next service day.

Example:

9am check in begins

- 9am – 11am breakfast snacks and beverages offered
- Noon – 3pm light lunch snack offered

➤ 9am – 4:30pm:

*Activity rooms open at 9:30am until 430pm (job skills training, life skills instruction, chapel time, special lecture/community partner service information sessions).

*Game room/recreational rooms open up to room capacities.

*Showers open for 10 minute shower time interval per guest.

*Laundry room open for individual use. Guests will be required to remain with their laundry in the room until complete.

➤ 4:30pm Center closes & staff clean and prepare the building.

**RESOLUTION OF HIGH POINT CITY COUNCIL
AUTHORIZING UPSET BID PROCESS FOR CITY PROPERTY
LOCATED AT 229 NEAR FISHER AVENUE, HIGH POINT, NC**

WHEREAS, The City of High Point ("City") owns a lot consisting of approximately 2059 square feet (0.04 acre) in size identified as Parcel No. 188762, 229 Near Fisher Avenue, High Point, North Carolina ("Property"); and

WHEREAS, North Carolina Statute §160A-269 permits the City to sell property by upset bid, after receipt of an offer for the property; and

WHEREAS, Paul D Weipert and wife, Janet E. Brown have submitted an offer in the amount of \$1,500.00 ("Offer") for the Property, and paid the required five percent (5%) deposit on their offer;

NOW THEREFORE BE IT RESOLVED that the City Council of the City of High Point, North Carolina:

1. Authorizes sale of the Property described above through the upset bid procedure of North Carolina General Statute § 160A-269.
2. The City Clerk shall cause a notice of the proposed sale to be published. The notice shall describe the property, the amount of the offer, and shall state the terms under which the offer may be upset.
3. Persons wishing to upset the offer that has been received shall submit a sealed bid with their offer to the office of the City Clerk within 10 days after the notice of sale is published. At the conclusion of the 10-day period, the City Clerk shall open the bids, if any, and the highest such bid will become the new offer. If there is more than one bid in the highest amount, the first such bid received will become the new offer.
4. If a qualifying higher bid is received, the City Clerk shall cause a new notice of upset bid to be published and shall continue to do so until a 10-day notice period has passed without any qualifying upset bid having been received. At that time, the amount of the final high bid shall be reported to the City Council.
5. A qualifying higher bid is one that raises the existing offer by not less than ten percent (10%) of the first \$1,000.00 of that offer and five percent (5%) of the remainder of that offer.
6. A qualifying higher bid must also be accompanied by a deposit in the amount of five percent (5%) of the bid; the deposit may be made in cash, cashier's check, or certified check. The city will return the deposit on any bid not accepted and will return the deposit on an offer subject to upset if a qualifying higher bid is received. The city will return the deposit of the final high bidder at closing.

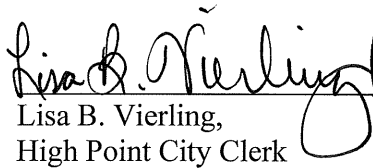
7. The terms of the final sale are that

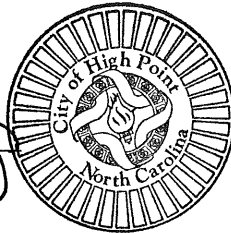
- the City Council must approve the final high offer before the sale is closed, which it will do within 30 days after the final upset bid period has passed; and
- the buyer must pay with cash at the time of closing.

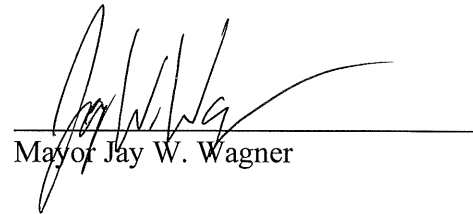
8. The City reserves the right to withdraw the property from sale at any time before the final high bid is accepted and the right to reject at any time all bids.

9. If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. The appropriate city officials are authorized to execute the instruments necessary to convey the property to Paul D. Weipert and wife, Janet E. Brown.

Adopted this the 15th day of February, 2021.


Lisa B. Vierling,
High Point City Clerk




Mayor Jay W. Wagner

CITY OF HIGH POINT

AGENDA ITEM



Title: Resolution Sale of City Owned Property – 229 Near Fisher Avenue

From: JoAnne Carlyle, City Attorney

Meeting Date: Monday, February 15, 2021

Public Hearing: Not Required

Advertising Date:

Advertised By:

Attachments: Resolution
Map

Purpose/Background:

Paul D. Weipart and wife, Janet E Brown, the adjoining property owners, have offered a bid of \$1,500 for City owned lot located at 229 Near Fisher Avenue, Parcel No.188762. The property is approximately 2059 square feet (0.04) acre) in size. The City has owned the property since 1968. There has been no use by the City since then. The buyer owns the property next door and plans to use as supplemental property to that lot.

Budget Impact:

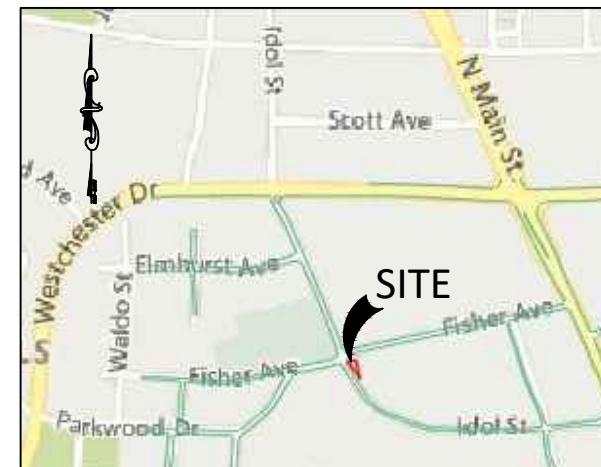
None

Recommendation:

Council is requested to adopt a resolution accepting the offer of \$1,500.00 and authorizing the sale of the property through the upset bid procedure of N.C.G.S. 160A-269, and direct the City Clerk to publish a public notice of the proposed sale in accordance with N.C.G.S. 160A-269.



VICINITY MAP
N.T.S.



LEGEND

 = PROPERTY BEING SOLD:
229-NEAR FISHER AVENUE

OWNER INFORMATION:

TM: 219-04-33
CITY OF HIGH POINT
DB 2397 PG 677
GUILFORD REID NO. 188762

THE INFORMATION ON THIS MAP WAS
PREPARED USING DATA FROM THE
CITY OF HIGH POINT GIS SYSTEM

*CITY OF HIGH POINT
NORTH CAROLINA
ENGINEERING SERVICES DEPARTMENT*

*SALE OF PROPERTY OWNED BY
CITY OF HIGH POINT
229-NEAR FISHER AVENUE*

SCALE: N.T.S.

BY: JKF

PROJECT: 2567

DATE: JANUARY 2021

**RESOLUTION OF HIGH POINT CITY COUNCIL
AUTHORIZING UPSET BID PROCESS FOR CITY PROPERTY
LOCATED AT 229 NEAR FISHER AVENUE, HIGH POINT, NC**

WHEREAS, The City of High Point (“City”) owns a lot consisting of approximately 2059 square feet (0.04 acre) in size identified as Parcel No. 188762, 229 Near Fisher Avenue, High Point, North Carolina (“Property”); and

WHEREAS, North Carolina Statute §160A-269 permits the City to sell property by upset bid, after receipt of an offer for the property; and

WHEREAS, Paul D Weipert and wife, Janet E. Brown have paid the amount of \$75.00, the required five percent (5%) deposit on their offer;

NOW THEREFORE BE IT RESOLVED that the City Council of the City of High Point, North Carolina:

1. Authorizes sale of the Property described above through the upset bid procedure of North Carolina General Statute § 160A-269.

2. The City Clerk shall cause a notice of the proposed sale to be published. The notice shall describe the property, the amount of the offer, and shall state the terms under which the offer may be upset.

3. Persons wishing to upset the offer that has been received shall submit a sealed bid with their offer to the office of the City Clerk within 10 days after the notice of sale is published. At the conclusion of the 10-day period, the City Clerk shall open the bids, if any, and the highest such bid will become the new offer. If there is more than one bid in the highest amount, the first such bid received will become the new offer.

4. If a qualifying higher bid is received, the City Clerk shall cause a new notice of upset bid to be published and shall continue to do so until a 10-day notice period has passed without any qualifying upset bid having been received. At that time, the amount of the final high bid shall be reported to the City Council.

5. A qualifying higher bid is one that raises the existing offer by not less than ten percent (10%) of the first \$1,000.00 of that offer and five percent (5%) of the remainder of that offer.

6. A qualifying higher bid must also be accompanied by a deposit in the amount of five percent (5%) of the bid; the deposit may be made in cash, cashier’s check, or certified check. The city will return the deposit on any bid not accepted and will return the deposit on an offer subject to upset if a qualifying higher bid is received. The city will return the deposit of the final high bidder at closing.

7. The terms of the final sale are that

- the City Council must approve the final high offer before the sale is closed, which it will do within 30 days after the final upset bid period has passed; and
- the buyer must pay with cash at the time of closing.

8. The City reserves the right to withdraw the property from sale at any time before the final high bid is accepted and the right to reject at any time all bids.

9. If no qualifying upset bid is received after the initial public notice, the offer set forth above is hereby accepted. The appropriate city officials are authorized to execute the instruments necessary to convey the property to Paul D. Weipert and wife, Janet E. Brown.

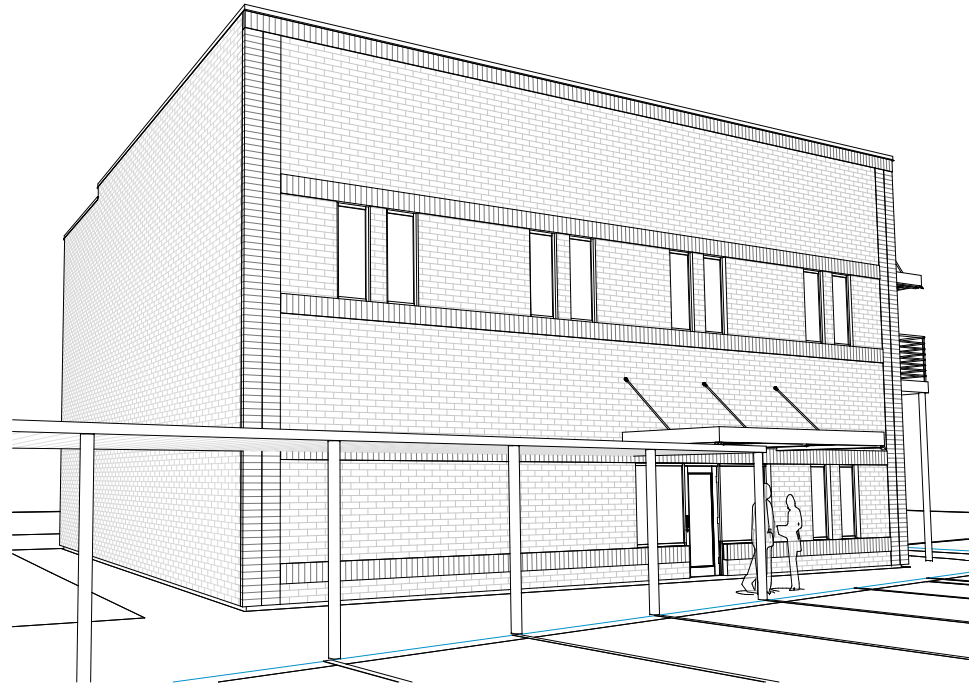
Adopted this the 15th day of February, 2021.

Mayor Jay W. Wagner

Lisa B. Vierling,
High Point City Clerk

OAKWOOD COMMUNITY DEVELOPMENT CORPORATION DAY CENTER

210 OAKWOOD STREET
HIGH POINT, NORTH CAROLINA



REVISIONS	
NUMBER	DATE

OAKWOOD COMMUNITY
DEVELOPMENT CORP. DAY
CENTER
210 OAKWOOD STREET
HIGH POINT, NC 27862

818-582-7177
Tony@tonyjohnsonarchitect.com
104 North L. Lombard St
Clayton, NC 27720
tonyjohnsonarchitect.com



DATE: 12/4/2020
2:23:04 PM

PROJECT #: 010-20

COVER SHEET

SHEET

A-0.1

2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 3 FAMILY DWELLINGS AND TOWNHOUSES)
(Reproduce the following data on the building plans sheet 1 & 2)

Name of Project: **OAKWOOD COMMUNITY DEVELOPMENT CORPORATION DAY CENTER** Zip Code: **27224**
Address: **120 OAKWOOD STREET, HIGH POINT, NC**
Owner/Authorized Agent: **ADAM L. JOHNSON** Phone: **336-823-2857** E-Mail: **adam.johnson@tjarchitect.com**
Owner By: **City/County** ☒ Private ☐ State ☐ Code Enforcement Jurisdiction: ☒ **Yadkin County** ☐ County ☐ State

CONTACT:

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE#	EMAIL
Architectural	Tony Johnson Architect	Tony Johnson	4296	919-550-7717	tony@tonyjohnsonarchitect.com
Civil	Davis-Martin-Powell	Bernjamin Palmer	25496	336-886-4821	bpalmer@dm-pc.com
Electrical	KILIAN ENGINEERING	MICHAEL KILIAN	17304	252-438-8778	mkilian@kilianengineering.com
Fire Alarm	KILIAN ENGINEERING	MICHAEL KILIAN	17304	252-438-8778	mkilian@kilianengineering.com
Plumbing	KILIAN ENGINEERING	MICHAEL KILIAN	17304	252-438-8778	mkilian@kilianengineering.com
Mechanical	KILIAN ENGINEERING	MICHAEL KILIAN	17304	252-438-8778	mkilian@kilianengineering.com
Spinsider/Standpipe	SMITH ENGINEERING	JOE SMITH	24916	819-736-2141	smithengineeringnc@hotmail.com
Retaining Wall/s High					
Other					

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE EDITION:

New Building: ☒ New building ☐ Renovation ☐ First time interior completion (upfit) ☐ Shell/Core ☐ Addition ☐ Partial Construction

2018 EXISTING BUILDING CODE:

Check all that apply: ☐ Prescriptive Compliance ☐ Work Area Compliance ☐ Performance Compliance ☐ Change of Use ☐ Historic Property ☐ Addition ☐ Repair ☐ Relocated ☐ Level I (Renovation) ☐ Level II (Alteration) ☐ Level III (Reconstruction)

Constructed: (date) _____ Current Occupancy (S) (Ch. 3): _____
Renovated: (date) _____ Proposed Occupancy (S) (Ch. 3): **BUSINESS**

Risk Category (Table 1604.5): Current: ☐ I ☐ II ☐ III ☐ IV
Proposed: ☒ I ☐ II ☐ III ☐ IV

BASIC BUILDING DATA:

Construction Type: ☐ I-A ☐ I-A ☐ I-A ☐ IV ☐ I-A ☐ I-B ☐ I-B ☐ I-B ☐ I-B

Spillages: ☒ No ☐ Yes ☐ Partial ☐ Yes ☐ Types: ☐ NFPA 13B-07 ☐ NFPA 13B-07 ☐ NFPA 13B-07 ☐ NFPA 13B-07

Primary Fire District: ☒ No ☐ Yes ☐ Partial ☐ Yes ☐ Flood Hazard Area: ☒ No ☐ Yes ☐ Wet ☐ Dry ☐ NFPA 14-07

Special Inspections Required: ☒ No ☐ Yes

GROSS BUILDING AREA TABLE:

Floor	Existing (sq.ft.)	New (sq.ft.)	Renovated (sq.ft.)	Sub-Total
1 st Floor				
2 nd Floor				
3 rd Floor				
Mezzanine				
Basement				
(Total)				4,340

ALLOWABLE AREA: CHAPTER 5

OCCUPANCY:
Primary Occupancy: ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Assembly 303 ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business 304 ☒ B
Educational 305 ☐ E
Factory 306 ☐ F-1 Moderate ☐ F-2 Low ☐ F-3 Combust ☐ F-4 Health ☐ F-5 HPM
Hazardous 307 ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional 308 ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-5
I-3 Use Condition ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-5
Mercantile 309 ☐ M
Residential 310 ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage 311 ☐ S-1 Moderate ☐ S-2 Low ☐ S-3 High-piled
Utility and Miscellaneous 312 ☐ U

Accessory Occupancies (< 10%):
Assembly 303 ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business 304 ☐ B
Educational 305 ☐ E
Factory 306 ☐ F-1 Moderate ☐ F-2 Low ☐ F-3 Combust ☐ F-4 Health ☐ F-5 HPM
Hazardous 307 ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional 308 ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-5
I-3 Use Condition ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-5
Mercantile 309 ☐ M
Residential 310 ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage 311 ☐ S-1 Moderate ☐ S-2 Low ☐ S-3 High-piled
Utility and Miscellaneous 312 ☐ U

INCIDENTAL USES:

- Incidental uses where any piece of equipment is over 400,000 Btu per hour input
- Room with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
- Refrigerant machine room
- Hydrogen cutoff rooms, not classified as Group H
- Incinerator rooms
- Paint shops, not classified as Group H, located in occupancies other than Group F
- Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy
- Laundry room over 100 square feet
- Group I-3 units equipped with padded surfaces
- Group I-2 waste and linen collection rooms
- Waste and linen collection rooms over 100 square feet
- Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power, or uninterrupted power supplies
- Rooms containing fire pumps
- Room containing Life-Safety generator
- Room containing primary transformers
- Group I-2 storage rooms over 100 square feet
- Group I-2 commercial kitchens
- Group I-2 laundries equal to or less than 100 square feet
- Group I-2 room or spaces that contain fuel-fired heating equipment

Special Uses: ☐ A1 ☐ A2 ☐ A3 ☐ A4 ☐ A5 ☐ A6 ☐ A7 ☐ A8 ☐ A9 ☐ A10 ☐ A11 ☐ A12 ☐ A13 ☐ A14 ☐ A15 ☐ A16 ☐ A17 ☐ A18 ☐ A19 ☐ A20 ☐ A21 ☐ A22 ☐ A23 ☐ A24 ☐ A25

Special Provisions: ☐ S1 ☐ S2 ☐ S3 ☐ S4 ☐ S5 ☐ S6 ☐ S7 ☐ S8 ☐ S9 ☐ S10 ☐ S11 ☐ S12 ☐ S13 ☐ S14 ☐ S15 ☐ S16 ☐ S17 ☐ S18 ☐ S19 ☐ S20 ☐ S21 ☐ S22 ☐ S23 ☐ S24 ☐ S25

Allowed Occupancy: ☐ No ☐ Yes Separation: ☐ No ☐ Yes Exception: _____

Actual Area of Occupancy A + Actual Area of Occupancy B = ≤ 1
Allowable Area of Occupancy A + Allowable Area of Occupancy B = _____

Story Number	Description and Use	Allowable Area					
		A Building Area Per Story (Actual)	B Table 506.2 Area	C Area for Frontage Increase	D Area for Sprinkler Increase	E Alternate Area or Unlimited	F Maximum Building Area
1	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
2	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
3	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
4	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
5	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
6	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
7	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
8	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
9	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
10	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
11	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
12	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
13	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
14	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
15	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
16	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
17	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
18	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
19	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
20	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
21	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
22	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
23	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
24	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
25	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
26	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
27	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
28	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
29	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
30	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
31	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
32	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
33	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
34	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
35	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
36	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
37	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
38	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
39	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
40	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
41	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
42	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
43	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
44	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
45	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
46	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
47	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
48	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
49	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
50	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
51	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
52	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
53	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
54	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
55	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
56	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
57	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
58	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
59	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
60	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
61	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
62	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
63	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
64	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
65	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
66	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
67	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
68	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
69	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
70	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
71	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
72	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
73	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
74	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
75	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
76	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
77	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
78	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
79	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
80	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
81	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
82	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
83	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
84	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
85	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
86	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
87	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
88	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
89	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
90	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
91	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
92	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
93	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
94	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
95	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
96	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
97	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
98	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
99	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100
100	B-BUSINESS	2,100	2,100	2,100	2,100	2,100	2,100

- Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 30 feet minimum width = _____ (F)
b. Total Building Perimeter = _____ (P)
c. Ratio (F/P) = _____ (R)
d. Minimum width of public way = _____ (W)
e. Percent of

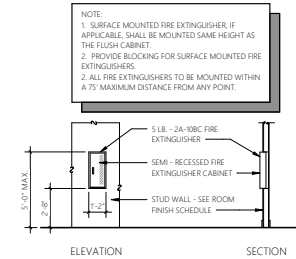
REVISIONS	
NUMBER	DATE

OAKWOOD COMMUNITY
DEVELOPMENT CORP. DAY
CENTER
210 OAKWOOD STREET
HIGH POINT, NC 27622

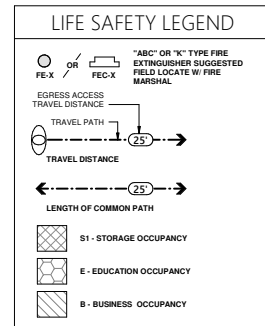
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Tony Johnson
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tonyjohnsonarchitect.com



DATE	12/4/2020
PROJECT #	010-20
LIFE SAFETY PLAN	
SHEET	
A-0.3	



TYPICAL "ABC" FIRE EXTINGUISHER
1/4" = 1'-0"



B-BUSINESS
TO BE USED AS
BUSINESS
1,394 SF
/ 100 GROSS PER OCC.
= OCCUPANT LOAD: 14

WORST CASE SCENARIOS
BEGINNING OF EGRESS
ACCESS TRAVEL PATHS

B-BUSINESS
TO BE USED AS
CLASSROOM
295 SF
/ 20 NET PER OCC.
= OCCUPANT LOAD: 15

B-BUSINESS
TO BE USED AS
COMMON AREA
481 SF
/ 15 NET PER OCC.
= OCCUPANT LOAD: 32

B-OCCUPANCY
TO BE USED AS
BUSINESS
2,170 SF
/ 100 GROSS PER OCC.
= OCCUPANT LOAD: 22

DOOR NUMBER 104(36" WIDTH)
REQD EXIT - YES
CLEAR DOOR WIDTH - 32" MIN.
EGRESS WIDTH PER OCCUPANT - 0.2"
MAX OCCUPANT LOAD - 160
ACTUAL OCCUPANT LOAD - 42
PERCENTAGE OF REQD CAPACITY - 26%

DOOR NUMBER 200(36" WIDTH)
REQD EXIT - YES
CLEAR DOOR WIDTH - 32" MIN.
EGRESS WIDTH PER OCCUPANT - 0.2"
MAX OCCUPANT LOAD - 160
ACTUAL OCCUPANT LOAD - 31
PERCENTAGE OF REQD CAPACITY - 19%

2 FIRE LIFE SAFETY PLAN LEVEL 2
3/16" = 1'-0"

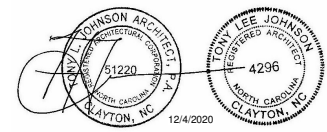
61 OCCUPANTS
83 TOTAL BUILDING OCCUPANTS

WORST CASE SCENARIOS
BEGINNING OF EGRESS
ACCESS TRAVEL PATHS

DOOR NUMBER 100(36" WIDTH)
REQD EXIT - YES
CLEAR DOOR WIDTH - 32" MIN.
EGRESS WIDTH PER OCCUPANT - 0.2"
MAX OCCUPANT LOAD - 160
ACTUAL OCCUPANT LOAD - 11
PERCENTAGE OF REQD CAPACITY - 7%

1 FIRE LIFE SAFETY PLAN LEVEL 1
3/16" = 1'-0"

22 OCCUPANTS
83 TOTAL BUILDING OCCUPANTS





COMcheck Software Version 4.1.1.0
Envelope Compliance Certificate

Project Information

Energy Code: 2015 IECC
Project Title: OAKWOOD COMMUNITY CENTER
Location: High Point, North Carolina
Climate Zone: 4a
Project Type: New Construction
Vertical Glazing / Wall Area: 3%

Construction Site: 210 OAKWOOD STREET
High Point, NC 27262
Owner/Agent: KEVIN SANDERS
Designer/Contractor: TONY JOHNSON ARCHITECT

Additional Efficiency Package(s)

High efficiency HVAC: Systems that do not meet the performance requirement will be identified in the mechanical requirements checklist report.

Building Area	Floor Area
1-Office: Nonresidential	4340

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor _{adj}
Roof 1: Insulation Entirely Above Deck, [Bldg. Use 1 - Office]	2170	—	30.0	0.032	0.032
Floor 1: Slab-On-Grade Unheated, [Bldg. Use 1 - Office] (c)	195	—	—	0.730	0.540
NORTH					
Exterior Wall 2: Wood-Framed, 16" o.c., [Bldg. Use 1 - Office]	1309	19.0	0.8	0.063	0.064
Door 2: Insulated Metal, Swinging, [Bldg. Use 1 - Office]	42	—	—	0.200	0.610
EAST					
Exterior Wall 3: Wood-Framed, 16" o.c., [Bldg. Use 1 - Office]	1241	19.0	0.8	0.063	0.064
Window 2: Metal Frame with Thermal Break-Fixed, Perf. Specs., Product ID NA, SHGC 0.25, [Bldg. Use 1 - Office] (b)	25	—	—	0.290	0.380
Door 3: Insulated Metal, Swinging, [Bldg. Use 1 - Office]	21	—	—	0.200	0.610
SOUTH					
Exterior Wall 1: Wood-Framed, 16" o.c., [Bldg. Use 1 - Office]	1388	19.0	0.8	0.063	0.064
Window 1: Metal Frame with Thermal Break-Fixed, Perf. Specs., Product ID NA, SHGC 0.25, [Bldg. Use 1 - Office] (b)	145	—	—	0.290	0.380
WEST					
Exterior Wall 4: Wood-Framed, 16" o.c., [Bldg. Use 1 - Office]	1317	19.0	0.8	0.063	0.064

- (a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.
(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

Envelope PASSES: Design 2% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

TONY JOHNSON ARCHITECT
Name - Title Signature Date 12/4/2020



REVISIONS

NUMBER DATE

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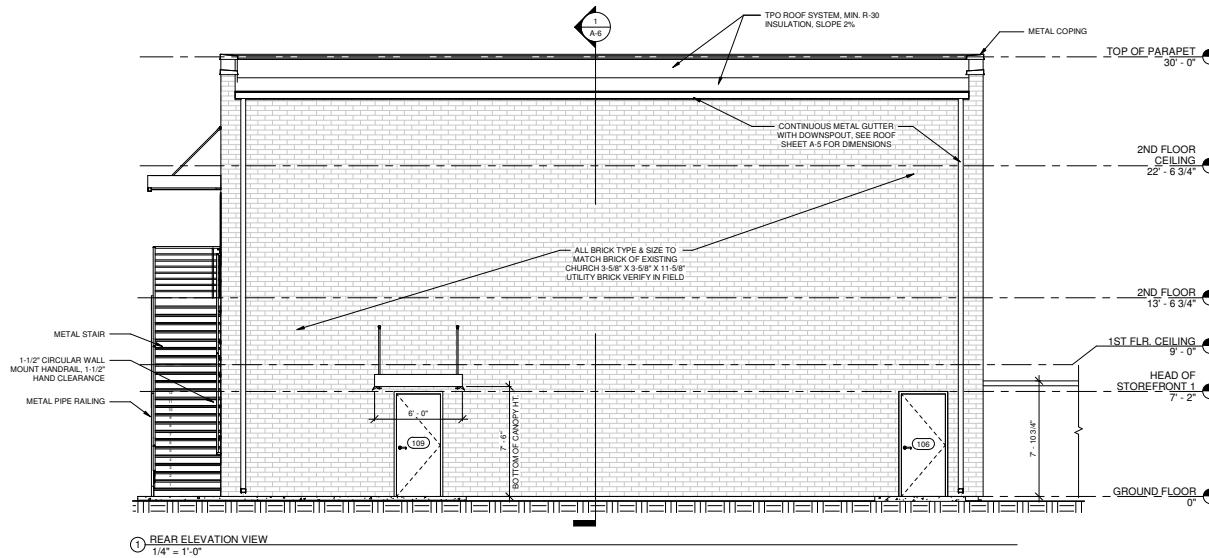
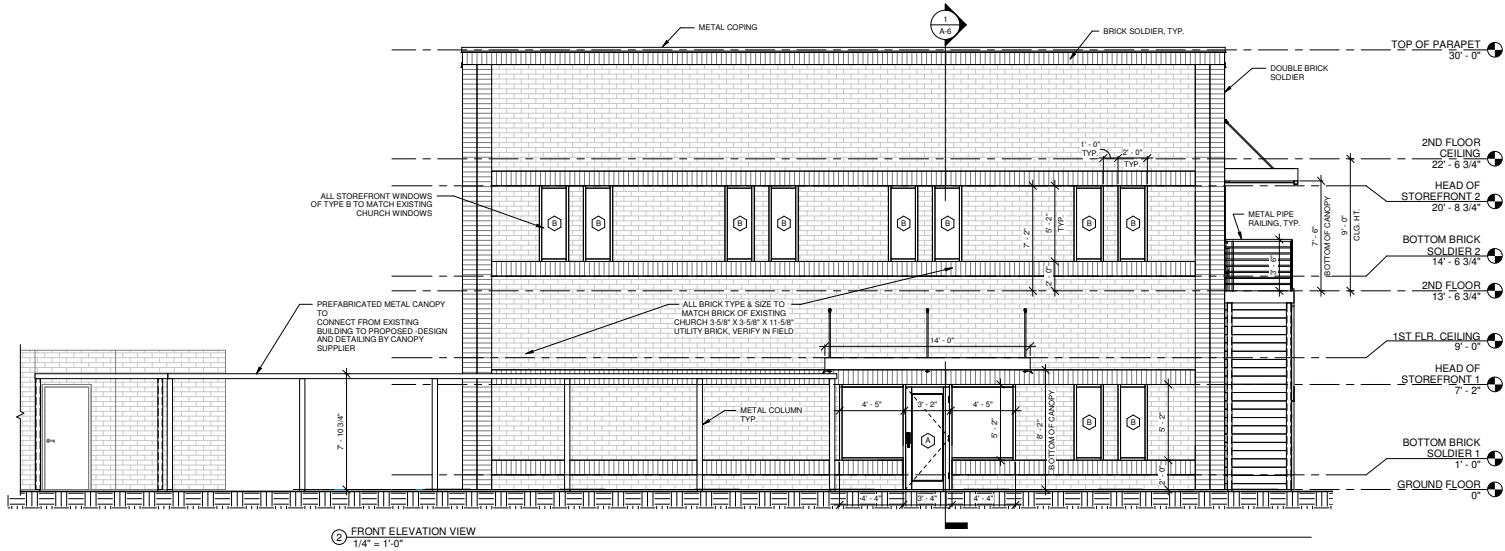
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PROJECT #: 010-20

THERMAL ENVELOPE

SHEET

A-0.4



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**TONY
JOHNSON**
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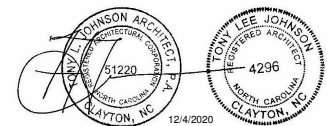
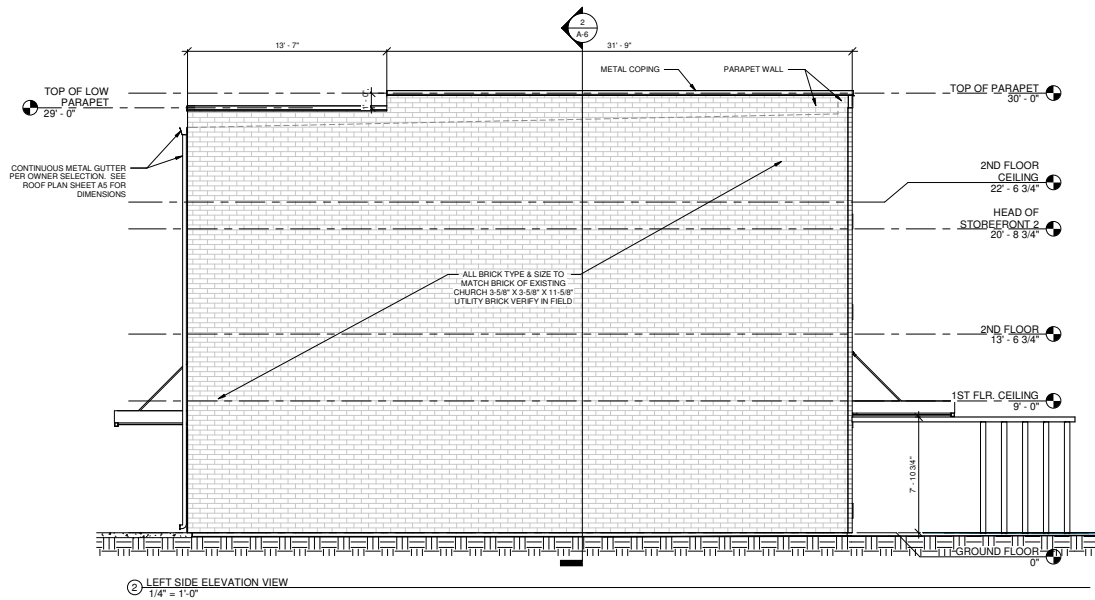
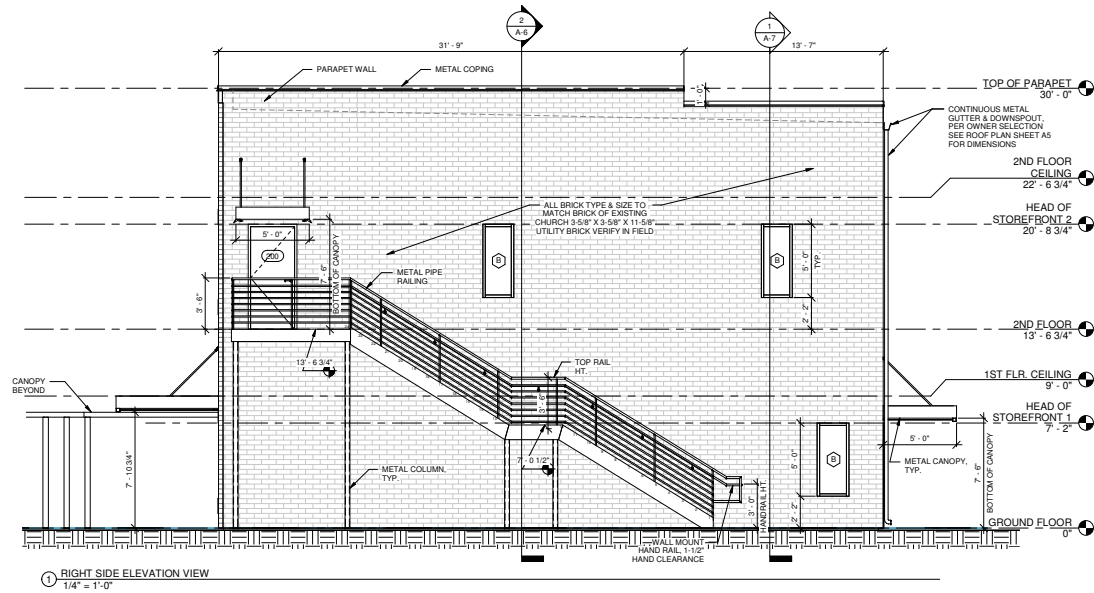
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PROJECT # 010-20

BUILDING
ELEVATIONS

SHEET

A-1



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NUMBER	DATE

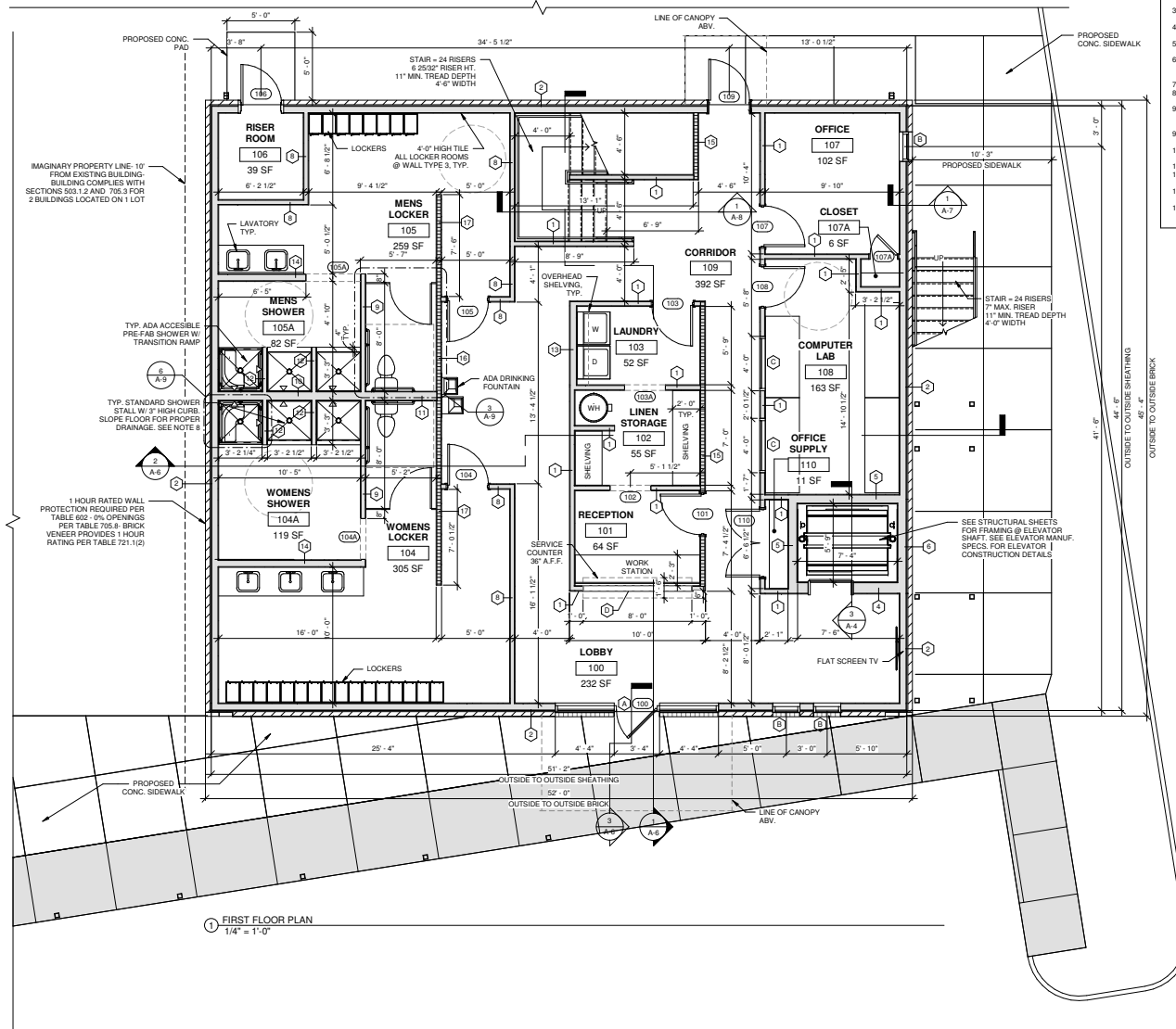
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PROJECT #: 010-20
BUILDING
ELEVATIONS
SHEET

A-2



1 FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. ALL INTERIOR DIMENSIONS ARE FROM WALL FACE, U.N.O. SEE ENLARGED PLANS SHEET A-9 FOR DIMENSIONS NOT NOTED.
3. ALL INTERIOR WALLS TO RECEIVE BATT INSULATION. PROVIDE SOUND BATT INSULATION @ TOILET.
4. PROVIDE WATER RESISTANT GYPSUM WALL BOARD AT ALL WET WALLS INCLUDING, BUT NOT LIMITED TO, WALLS AT BATHROOMS, BREAK ROOM, LAUNDRY, & JANITOR. ALL DOORS ARE TO BE SPACED MIN. 4" FROM ALL ADJACENT WALLS OR CENTERED IN WALL U.N.O.
5. PROVIDE SUPPLEMENTAL FRAMING, METAL BLOCKING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE, EQUIPMENT, AND SIMILAR CONSTRUCTION.
6. WALL TILE @ MEN'S & WOMEN'S LOCKER TO RUN 4'-0" HIGH.
7. WALL TILE @ STANDARD SHOWER STALLS TO RUN UP TO C.G. HT. PROVIDE 1/2" CONCRETE BOARD BEHIND ALL WALL TILE @ STANDARD SHOWER STALLS.
8. WALL TILE TO BE PROVIDED ABOVE ADA PRE-FABRICATED SHOWER UNIT. PROVIDE 1/2" CONCRETE BOARD BEHIND PORTION OF TILE ABOVE PRE-FABRICATED SHOWER UNIT.
9. ALL BRICK TO MATCH THAT OF EXISTING CHURCH, CREATED FOR HIS GLORY MINISTRIES.
10. ALL STOREFRONT WINDOWS @ FRONT TO MATCH THAT OF EXISTING CHURCH, CREATED FOR HIS GLORY MINISTRIES.
11. REFER TO PLUMBING SHEETS FOR PROPER LOCATION OF FLOOR DRAINS & DETAILS.
12. ARCHITECTURAL DOCUMENTS ARE FOR REFERENCE ONLY. REFER TO STRUCTURAL SHEETS FOR STRUCTURAL ERECTION.
13. SEE DETAIL 5 SHEET A-9 FOR TYPICAL MOUNTING HEIGHTS FOR PLUMBING FIXTURES, ACCESSORY ITEMS, AND MISCELLANEOUS DEVICES.
14. SEE SHEET A-10 FOR WINDOW/DOOR SCHEDULE, FINISH SCHEDULE, WALL TYPES, & ELEVATIONS.

REVISIONS	
NUMBER	DATE

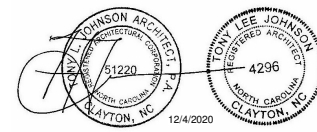
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DATE	12/4/2020
PROJECT #	010-20
FIRST FLOOR PLAN	
SHEET	

A-3



Architectural section drawing of an elevator shaft, showing structural details and dimensions. The drawing is oriented vertically, with the shaft running from the ground floor at the bottom to the 2nd floor at the top.

Dimensions and Clearances:

- Overall Height:** 13' - 0"
- Clearance from 2nd Floor:** 12' - 2"
- Clearance from Ground Floor:** 13' - 6 3/4"
- Shaft Opening:** 7' - 0"
- Pit Depth:** 5' - 0"
- Width:** 5' - 9"

Structural Details and Labels:

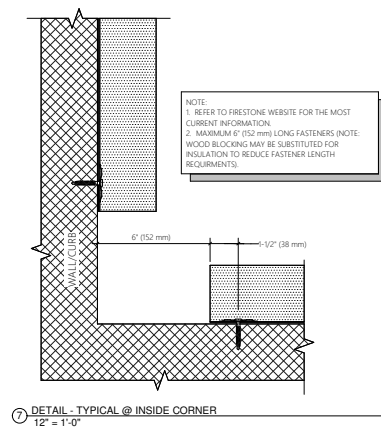
- SAFETY BEAM PER STRUCTURAL DESIGN:** Indicated by a dashed line at the top of the shaft.
- ELEVATOR PER MANUFACTURER'S SPECIFICATIONS:** Indicated by a dashed line within the shaft opening.
- SEE STRUCTURAL SHEET FOR ELEVATOR SHAFT FRAMING:** Indicated by a dashed line on the right side of the shaft.
- SEE STRUCTURAL SHEET FOR ELEVATOR PIT DECK:** Indicated by a dashed line at the bottom of the shaft.

Floors and Levels:

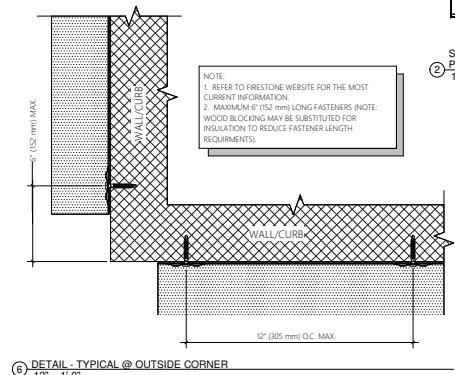
- 2ND FLOOR:** 13' - 6 3/4"
- GROUND FLOOR:** 0"

1. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
2. ALL INTERIOR DIMENSIONS FROM FINISH FLOOR TO FINISH FLOOR WALL, U.N.O. ALL DIMENSIONS REFERENCED HEREIN ARE IMPERIAL, STANDARD U.N.O. SEE ENLARGED PLANS SHEET A FOR DIMENSIONS NOT NOTED.
3. ALL INTERIOR WALLS TO CONFORM TO THE FOLLOWING: 12" MINIMUM SOUND BATT INSULATION @ TOILET.
4. ALL INTERIOR RESISTANT GYPSUM WALL BOARD AROUND ALL LATRIN WALLS INCLUDING, BUT NOT LIMITED TO, BATHS AT BATHROOMS, BREAK ROOM, LAUNDRY & JANITOR. INTERIOR DOORS ARE TO BE 1 1/2" MINIMUM THICKNESS GYPSUM BOARD OR CORE IN WALL U.N.O.
5. ALL INTERIOR SUPPLEMENTAL FRAMING, METAL BOLTING / STRAPPING AND BRACING AS REQ'D FOR SUPPORT OF FIXTURES, EQUIPMENT, TOILET ACCESSORIES, FURNISHINGS, FURNITURE / EQUIPMENT, AND SIMILAR CONSTRUCTION.
6. ALL WALLS TO MATCH EXISTING WALLS TO MATCH TO EXISTING WALLS.
7. WALL TILE @ STANDARD SHOWERS STALLS TO RUN UP TO CLO. HT. PROVIDE 12" MINIMUM CROWN BOARD BEHIND PORTION OF TILE ABOVE PRE-FABRICATED SHOWER.
8. WALL TILE TO BE PROVIDED ABOVE ADA PRE-FABRICATED SHOWER UNIT. PROVIDE COMPLETE ROOFING BEHIND PORTION OF TILE ABOVE PRE-FABRICATED SHOWER UNIT.
9. ALL WORK TO MATCH THAT OF EXISTING CHURCH, CREATED FOR HIS GLORY.
10. ALL STOREFRONT WINDOWS @ FRONT TO MATCH THAT OF EXISTING CHURCH, EXCEPT FOR GLASS MAY BE DIFFERENT.
11. REFER TO PLUMBING SHEETS FOR PROPER LOCATION OF FLOOR DRAIN & DETAILS. PROVIDE 1/2" MIN. OCCUPANCY AREA FOR EACH TOILET. SEE PLUMBING SHEETS FOR STRUCTURAL ERECTION.
12. PROVIDE 5' MIN. CLEAR @ ALL COUNTING HEIGHTS FOR PLUMBING FIXTURES, ACCESSORY ITEMS, AND MISCELLANEOUS DETAILS.
13. SEE SHEET A FOR FLOOR WINDOW / DOOR SCHEDULE, FINISH SCHEDULE, WALL TYPES, & ELEVATIONS.

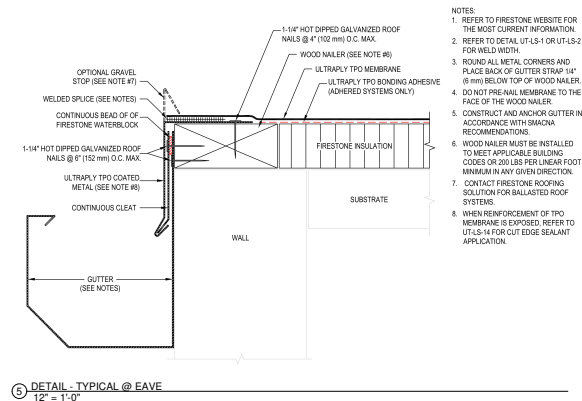
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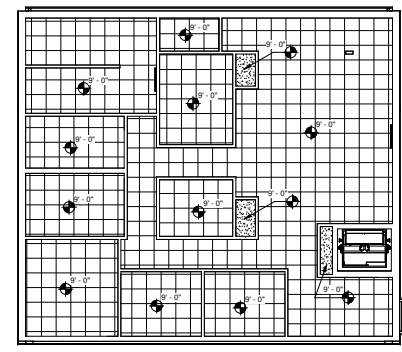
7 DETAIL - TYPICAL @ INSIDE CORNER
12\"/>



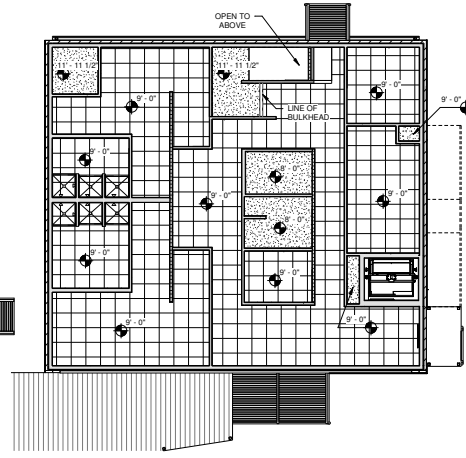
6 DETAIL - TYPICAL @ OUTSIDE CORNER
12\"/>



5 DETAIL - TYPICAL @ EAVE
12\"/>

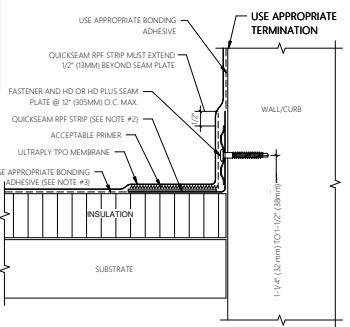


2 SECOND FLOOR REFLECTED CEILING PLAN
1/8\"/>



1 FIRST FLOOR REFLECTED CEILING PLAN
1/8\"/>

NOTE:
1. REFER TO FIRESTONE WEBSITE FOR MOST CURRENT INFORMATION.
2. REFER TO DETAIL UT-8T-14 OR UT-8T-15 FOR QUICKSEAM RFF STRIP LAYOUT AT CORNERS.
3. BONDING ADHESIVE REQUIRED BETWEEN MEMBRANE AND INSULATION FOR ADHERED SYSTEMS.



4 DETAIL - TYPICAL BASE TIE-IN
6\"/>

- NOTES:
1. REFER TO FIRESTONE WEBSITE FOR THE MOST CURRENT INFORMATION.
 2. REFER TO DETAIL UT-LS-1 OR UT-LS-2 FOR WELD WIDTH.
 3. ROUND ALL METAL CORNERS AND PLACE BACK OF GUTTER STRAP 1/4\"/>
 4. DO NOT PRE-INST. MEMBRANE TO THE FACE OF THE WOOD NAILED.
 5. CONSTRUCT AND ANCHOR GUTTER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 6. WOOD NAILED MUST BE INSTALLED TO MEET APPLICABLE BUILDING CODES OR 200 LBS PER LINEAR FOOT MINIMUM IN ANY GIVEN DIRECTION.
 7. CONTACT FIRESTONE ROOFING SOLUTION FOR BALLASTED ROOF SYSTEMS.
 8. WHEN REINFORCEMENT OF TPO MEMBRANE IS EXPOSED, REFER TO UT-LS-14 FOR CUT EDGE SEALANT APPLICATION.

ROOF NOTES

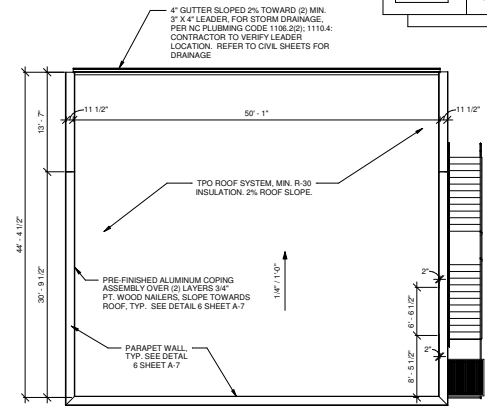
1. ROOF DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF WALL TO EXTERIOR FACE OF WALL & FROM EDGE OF ROOF TO EDGE OF ROOF. REFER TO DETAIL 6 SHEET A-7 FOR METAL CORING DETAIL.
2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUC., MECH. AND PLUMBING DWGS.
3. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY, COORDINATE AND OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKING, NAILERS, INSULATION STOPS, CRICKETS, ETC. NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATER-TIGHT, WATERPROOF INSTALLATION.
4. ALL ROOF SLOPES ARE TO HAVE A MIN. 1/8\"/>
5. ALL ROOF SLOPES ARE TO HAVE A MIN. 1/8\"/>
6. ROOF DRAINAGE IS CALCULATED FOR A 100-YEAR, 1-HR. RAINFALL AS REQUIRED BY THE NCBC PLUMBING CODE FOR PRIMARY ROOF DRAINS (FIGURE 108.1.6).
7. CONDUCTORS, DOWNSPOUTS, & SCUPPERS TO BE LOCATED BY CONTRACTOR IN FIELD.
8. CONTINUOUS RIGID ROOF INSULATION TO BE MIN. R-30.

CEILING NOTES

1. REFLECTED CEILING PLAN PROVIDED FOR REFERENCE ONLY. COORDINATE ALL WORK SHOWN WITH STRUCTURAL, MECHANICAL, & ELECTRICAL DRAWINGS. REFER TO MECH. & ELECTRICAL DRAWINGS FOR SPECIFIC LOCATION AND LAYOUTS.
2. ALL CEILING HEIGHTS CORRESPOND TO RESPECTIVE FINISH FLOOR ELEVATION LEVEL.
3. PROVIDE MOISTURE RESISTANT CEILING TILE BOARD OVER ALL WET LOCATIONS INCLUDING SHOWER & LAUNDRY.
4. PRIOR TO CONSTRUCTION OF THE PROJECT CEILING, THE CONTRACTOR SHALL COORDINATE AND VERIFY THE LOCATION OF LIGHTING FIXTURES AND CEILING DEVICES WITH THE OWNERS FURNITURE AND EQUIPMENT PLAN. THE CONTRACTOR SHALL REVEAL THIS INFORMATION AND BRING ANY SUSPECTED DISCREPANCIES TO THE ATTENTION OF THE OWNERS REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION.

RCP LEGEND

SYMBOL	DESCRIPTION
	INDICATES 2' X 2' SUSPENDED ACOUSTICAL GRID CEILING
	INDICATES GYPSUM CEILING BOARD
	INDICATES EXPOSED CONSTRUCTION NO CEILING



3 ROOF PLAN
1/8\"/>



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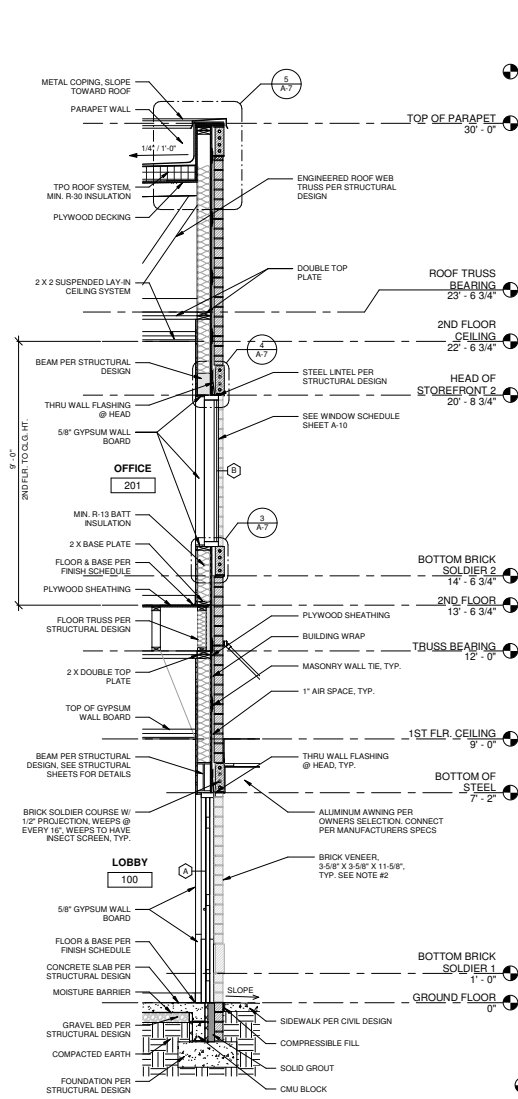
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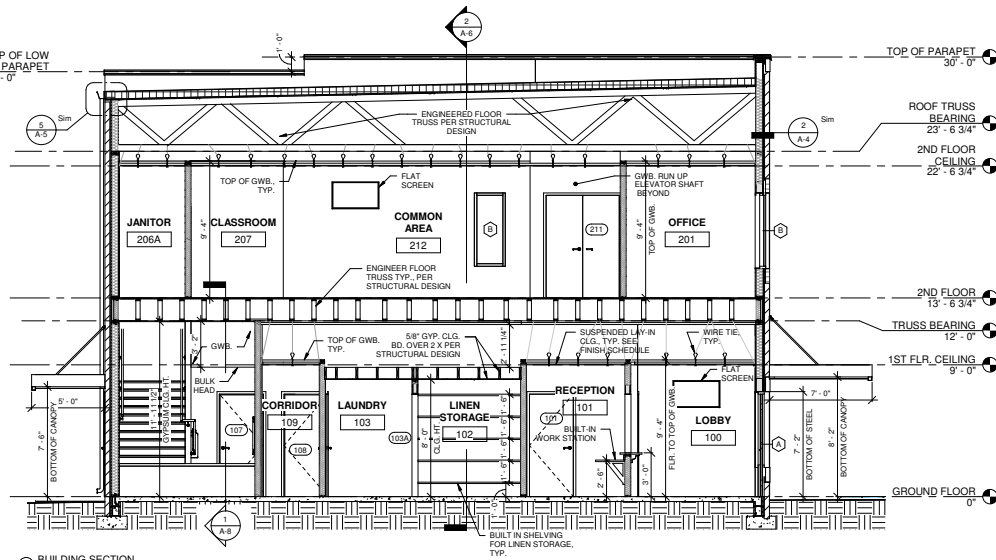
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ROOF PLAN /
REFLECTED CEILING
PLAN / DETAILS
SHEET

A-5

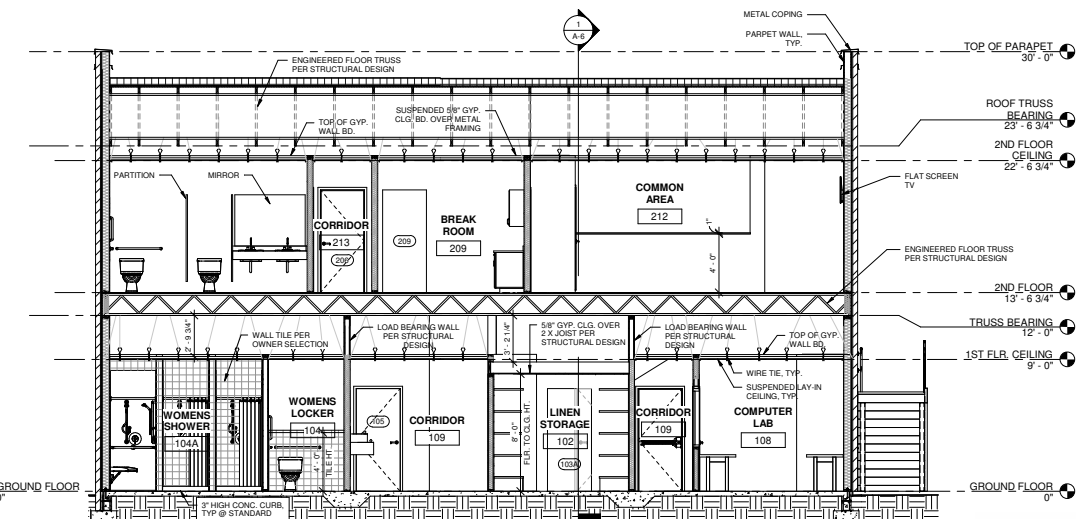


SECTION CUTOFF @ FRONT EXTERIOR

3 WALL
1/2" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



2 CROSS SECTION
1/4" = 1'-0"

SECTION NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. BRICK SHOWN IN ELEVATION & SECTION VIEW ARE FOR REFERENCE ONLY. ALL BRICK TYPE, COLOR, & SIZE ARE TO COMPLY WITH THAT OF EXISTING CHURCH FOR HIS GLORY MINISTRIES, 210 OAKWOOD STREET, HIGH POINT, NC. EXISTING UTILITY BRICK MEASURES 3-5/8" X 3-5/8" X 11-5/8".
- VERIFY SIZE IN FIELD. ALL MATERIALS AND INFORMATION NOTED ON ANY OF THE SECTIONS OR DETAILS APPLY TO ALL OTHER SECTIONS AND DETAILS WHERE SIMILAR CONDITIONS OCCUR WHETHER NOTED OR NOT. FRAMING SHOWN IN PLANS IS FOR REFERENCE ONLY. ALL STRUCTURAL MEMBERS TO BE SIZED BY A STRUCTURAL ENGINEER. SEE STRUCTURAL SHEETS.
- THE USE OF THE WORDS "PROVIDE" OR "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED, IS INTENDED TO MEAN, UNLESS OTHERWISE NOTED, THAT SUCH SHALL BE FURNISHED AND INSTALLED, AND CONNECTED WHERE SO REQUIRED BY GC.

REVISIONS	
NUMBER	DATE

OAKWOOD COMMUNITY
DEVELOPMENT CORP. DAY
CENTER

210 OAKWOOD STREET
HIGH POINT, NC 27282

919-559-7717
Tony Johnson Architecture
104 North Leonard St
Clayton, NC 27020
tonyjohnsonarchitect.com

TONY JOHNSON
ARCHITECTURE

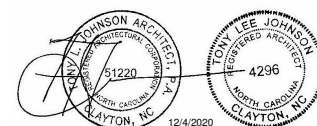
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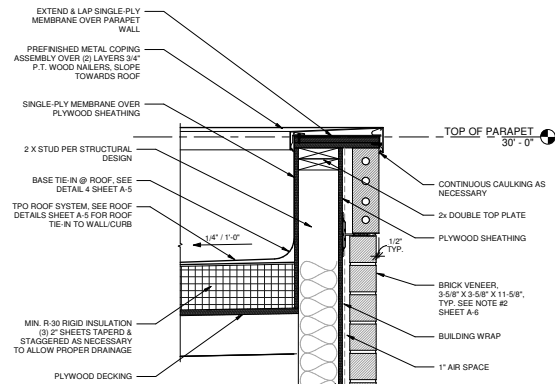
PROJECT # 010-20

BUILDING SECTION

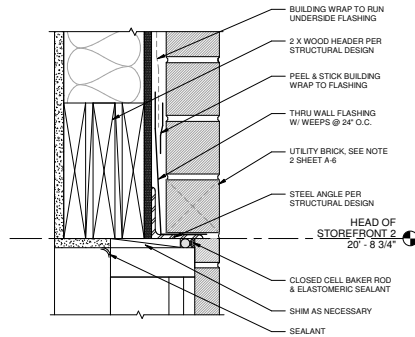
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A-6

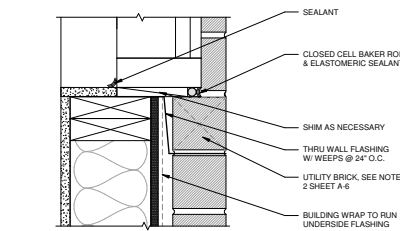




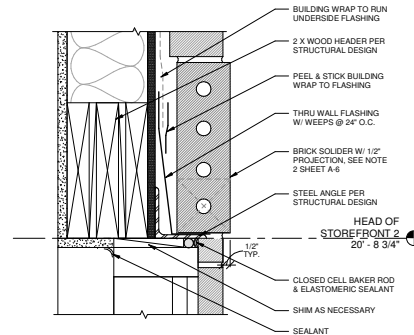
5 DETAIL - TYPICAL PARAPET
1 1/2" = 1'-0"



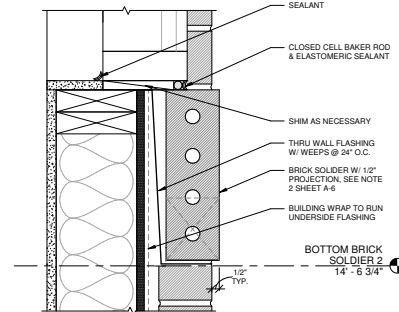
6 DETAIL - TYPICAL HEADER
3" = 1'-0"



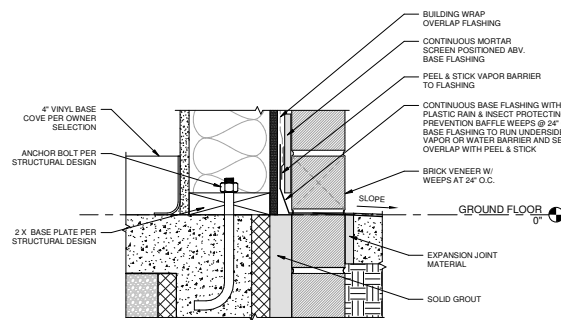
7 DETAIL - TYPICAL SILL
3" = 1'-0"



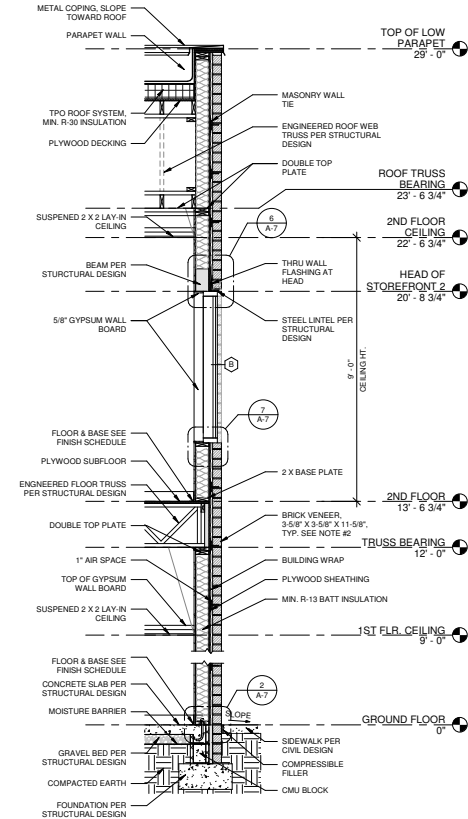
4 DETAIL - TYPICAL HEADER SOLDIER COURSE
3" = 1'-0"



3 DETAIL - TYPICAL SILL SOLDIER COURSE
3" = 1'-0"



2 DETAIL - TYPICAL BASE
3" = 1'-0"



1 SECTION @ RIGHT SIDE EXTERIOR WALL
1/2" = 1'-0"



REVISIONS	
NUMBER	DATE

OAKWOOD COMMUNITY
DEVELOPMENT CORP. DAY
CENTER

210 OAKWOOD STREET
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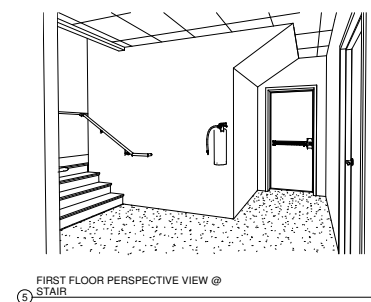
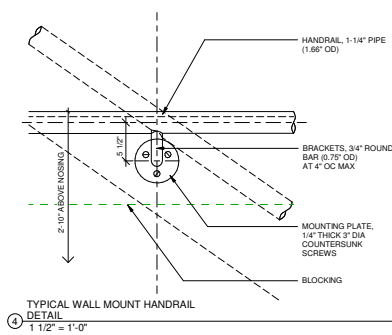
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PROJECT # 010-20

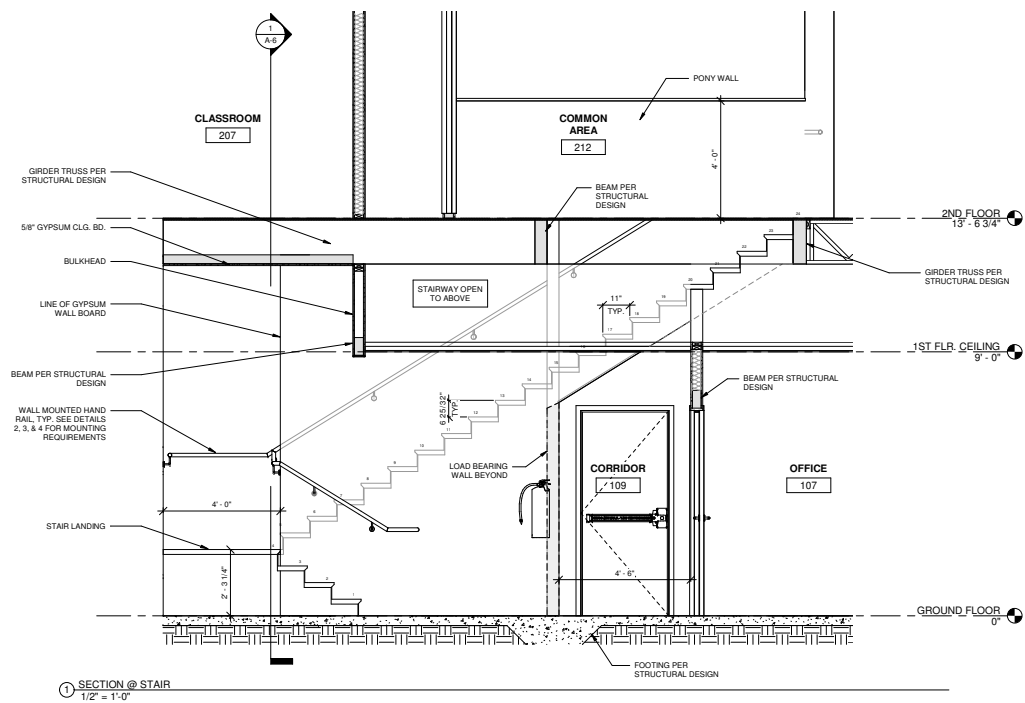
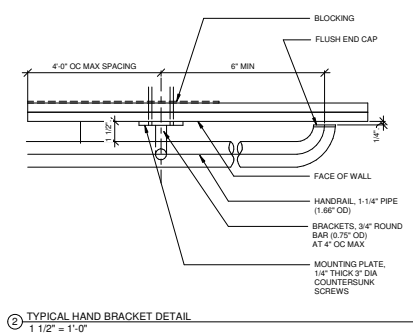
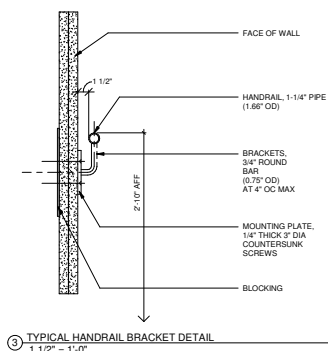
WALL SECTIONS /
DETAILS

SHEET

A-7



- ### SECTION NOTES
1. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION BEGINS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 2. BRICK SHOWN IN ELEVATION & SECTION VIEW ARE FOR REFERENCE ONLY. ALL BRICK TYPE, COLOR, & SIZE ARE TO COMPLEMENT THAT OF EXISTING CHURCH, FOR HIS GLORY MINISTRIES, 210 OAKWOOD STREET, HIGH POINT, NC. EXISTING UTILITY BRICK MEASURES 3-5/8" X 3-5/8" X 11-5/8". VERIFY SIZE IN FIELD.
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 - 5.



REVISIONS	
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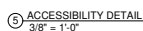
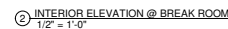
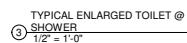
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PROJECT #: 010-20
STAIR SECTION / STAIR DETAILS
SHEET

A-8



A MIN 6" X 4" EXIT SIGN SHALL BE MOUNTED ON THE STRIKE SIDE OF ALL REQUIRED EXITS. DOORS-SIGN SHALL HAVE BOTH RAISED LETTERS AND BRAILLE SHALL BE MIN. 48" AFF.

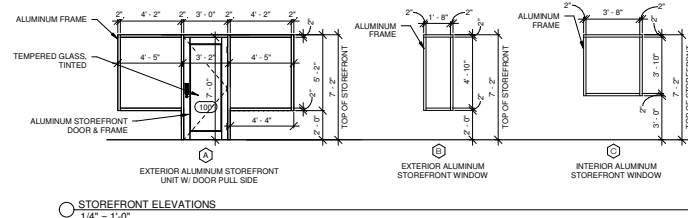
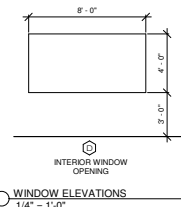
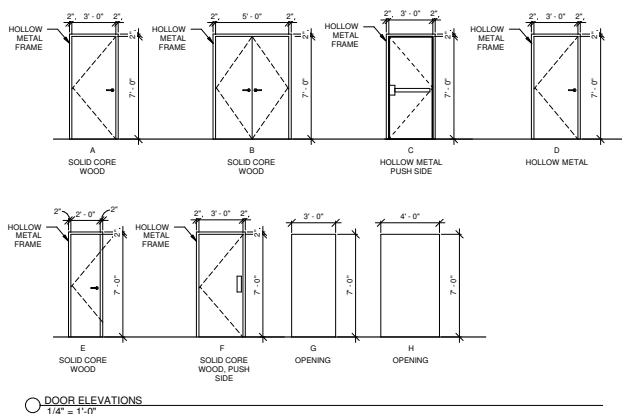


A-9

WALL TYPES		
SYMBOL	TAG	DESCRIPTION
	101	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	102	EXTERIOR - 5/8\"/>
	103A	INTERIOR - 2 X 8 WOOD STUD, 5/8\"/>
	104	INTERIOR - 10\"/>
	105	INTERIOR - 8\"/>
	106	EXTERIOR - 10\"/>
	107A	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	108	INTERIOR - 2 X 8 WOOD STUD, 5/8\"/>
	109	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	110	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	111	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	112	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	113	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	114	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	115	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	116	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	117	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	118	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	119	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	120	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>
	121	INTERIOR - 2 X 4 WOOD STUD, 5/8\"/>

DOOR SCHEDULE										
MARK	DOOR		ELEVATIONS	DOOR TYPE	DOOR			CLOSER	HARDWARE	COMMENTS
	W	H			FINISH	FRAME	FRAME FINISH			
100	3'-0"	7'-0"	STOREFRONT ELEV. A	ALUMINUM STOREFRONT	Bronze Anodized	ALUMINUM	Bronze Anodized	YES	PUSH PANIC EGRESS / PULL HANDLE	KEY CYLINDER LOCKSET
101	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PASSAGE
102	3'-0"	7'-0"	G	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PASSAGE
103	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	STORAGE
103A	3'-0"	7'-0"	G	OPENING						
104	3'-0"	7'-0"	F	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	YES	PUSH PLATE / PULL	PASSAGE
104A	3'-0"	7'-0"	G	OPENING						
105	3'-0"	7'-0"	F	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	YES	PUSH PLATE / PULL	PASSAGE
105A	4'-0"	7'-0"	H	OPENING						
106	3'-0"	7'-0"	D	INSULATED METAL	PAINTED	METAL	PAINTED	NO	LEVER HANDLE	KEY CYLINDER LOCKSET
107	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PRIVACY LEVER LOCKSET
107A	2'-0"	7'-0"	E	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	CLOSET
108	3'-0"	7'-0"	F	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	KEY CYLINDER LOCKSET
109	3'-0"	7'-0"	C	HOLLOW METAL	PAINTED	METAL	PAINTED	YES	PUSH PANIC EGRESS / LEVER HANDLE	KEY CYLINDER LOCKSET
110	5'-0"	7'-0"	B	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	CLOSET
200	3'-0"	7'-0"	C	INSULATED METAL	PAINTED	METAL	PAINTED	YES	PUSH PANIC EGRESS / LEVER HANDLE	KEY CYLINDER LOCKSET
201	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PRIVACY LEVER LOCKSET
202	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PRIVACY LEVER LOCKSET
203	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PASSAGE
204	3'-0"	7'-0"	F	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	YES	LEVER HANDLE	PASSAGE
205	3'-0"	7'-0"	F	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	YES	LEVER HANDLE	PASSAGE
206	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PRIVACY LEVER LOCKSET
206A	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PASSAGE
207	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	PASSAGE
208	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	CLOSET
209	3'-0"	7'-0"	G	OPENING						
210	3'-0"	7'-0"	A	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	CLOSET
211	5'-0"	7'-0"	B	SOLID WOOD FLUSH	STAINED	METAL	PAINTED	NO	LEVER HANDLE	CLOSET

FINISH SCHEDULE						
#	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT
100	LOBBY	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
101	RECEPTION	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
102	INFIN STORAGE	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	PAINTED GWB	8'-0"
103	JUNIOR	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	PAINTED GWB	9'-0"
104	WOMEN'S LOCKER	SEALED CONCRETE	TILE	4" HIGH TILE / PAINTED	2" X 2" LAY-IN TILE	9'-0"
104A	WOMEN'S SHOWER	SEALED CONCRETE	TILE	4" HIGH TILE / PAINTED	2" X 2" LAY-IN TILE	9'-0"
105	MEN'S LOCKER	SEALED CONCRETE	TILE	4" HIGH TILE / PAINTED	2" X 2" LAY-IN TILE	9'-0"
105A	MEN'S SHOWER	SEALED CONCRETE	TILE	4" HIGH TILE / PAINTED	2" X 2" LAY-IN TILE	9'-0"
106	RESER ROOM	CONCRETE	PAINTED	PAINTED	11'-11 1/2"	
107	OFFICE	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
107A	CLOSET	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
108	COMPUTER LAB	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
109	CORRIDOR	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
110	OFFICE SUPPLY	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
200	LOBBY	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
201	OFFICE	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
202	OFFICE	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
203	CLASSROOM	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
204	WOMEN'S TOILET	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
205	MEN'S TOILET	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
206	UNisex BARBER/STYLIST	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
206A	JANITOR	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
207	CLASSROOM	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
208	MECH. 1	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
209	BREAK ROOM	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
210	MECH. 2	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
211	ELEC. CLOSET	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
212	COMMON AREA	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"
213	CORRIDOR	VINYL PLANK FLOOR	4" VINYL COVE	PAINTED	2" X 2" LAY-IN TILE	9'-0"



REVISIONS	
NUMBER	DATE

OAKWOOD COMMUNITY
DEVELOPMENT CORP. DAY
CENTER
210 OAKWOOD STREET
HIGH POINT, NC 27282

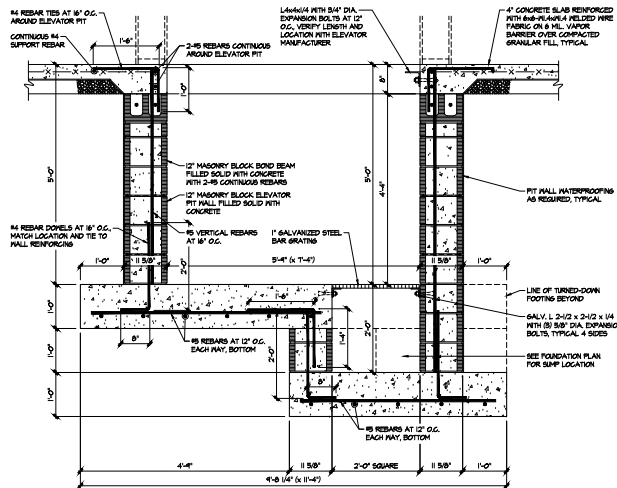
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tonyjohnsonarchitect.com

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ARCHITECTURE

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PROJECT # 010-20
SCHEDULES / WALL
TYPES / WINDOW &
DOOR ELEVATIONS

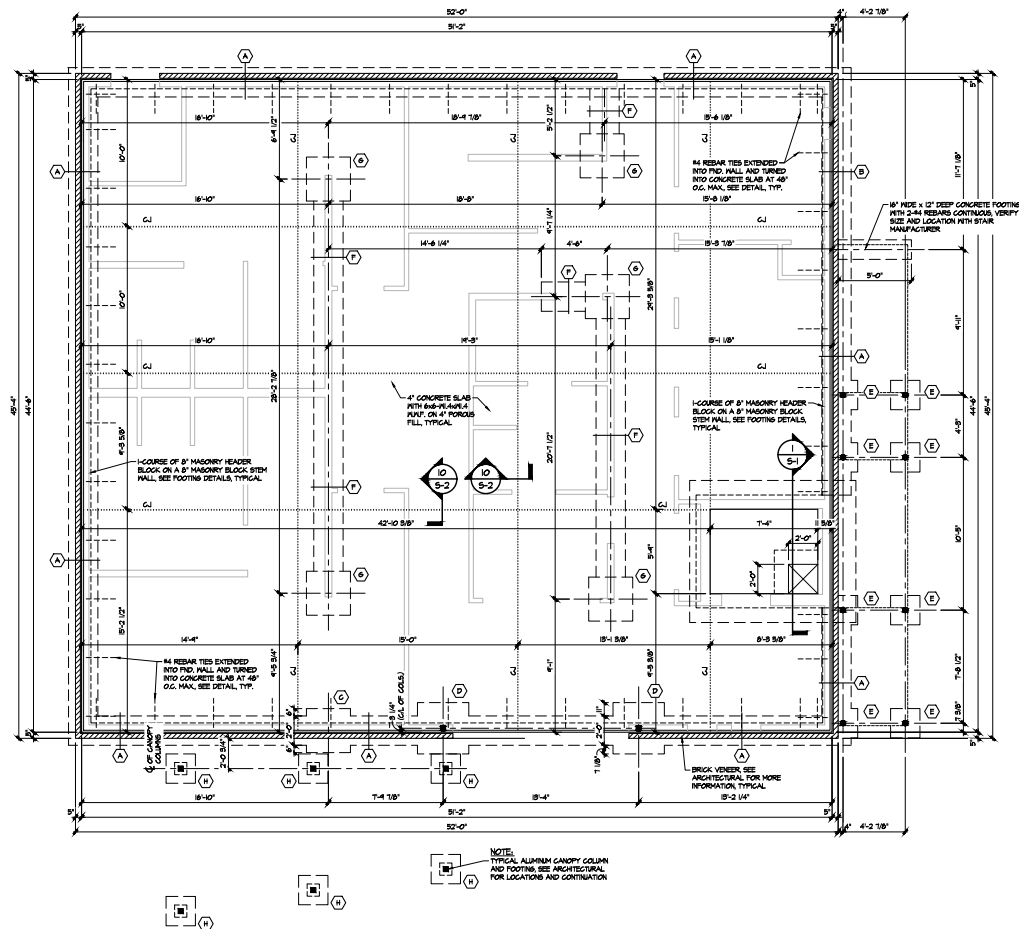
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A-10

COLUMN AND FOOTING SCHEDULE				
MARK	COLUMN	BASE PLATE	FOOTING	TOP OF FOOTING ELEVATION
(A)	---	---	2'-0" x 1'-0" DEEP CONCRETE FOOTING WITH (B) #5 REBARS, CONTINUOUS WITH #4 TIES AT 52" O.C. WITH REBAR TIES AT 48" O.C. MIN. 9" CONCRETE COVERAGE, SEE DETAIL FOR REINFORCEMENT PLACEMENT	-11'-4"
(C)	---	---	5'-0" x 3'-0" x 1'-0" DEEP CONCRETE FOOTING WITH (B) #5 REBARS EACH WAY, EQUALLY SPACED AT BOTTOM WITH REBAR TIES AT 48" O.C. MIN. 9" CONCRETE COVERAGE, SEE DETAIL FOR REINFORCEMENT PLACEMENT	-11'-4"
(D)	HSS 4x4x1/4 TUBE COLUMN	10"x10"x1/4" STEEL	5'-4" x 3'-4" x 1'-0" DEEP CONCRETE FOOTING WITH (A) #5 REBARS, EACH WAY, EQUALLY SPACED AT BOTTOM, MIN. 9" CONCRETE COVERAGE	-11'-4"
(E)	BY STAIR MANUFACTURER	BY STAIR MANUFACTURER	2'-0" x 2'-0" x 1'-0" DEEP CONCRETE FOOTING WITH (D) #5 REBARS, EACH WAY, EQUALLY SPACED AT BOTTOM, MIN. 9" CONCRETE COVERAGE. VERIFY LOCATION OF FOOTING WITH STAIR MANUFACTURER.	-10'-8" MINIMUM
(F)	---	---	2'-0" x 1'-0" DEEP HORIZONTAL CONCRETE FOOTING WITH (B) #5 REBARS, CONTINUOUS WITH #4 TIES AT 52" O.C. MIN. 9" CONCRETE COVERAGE, SEE DETAIL FOR REINFORCEMENT PLACEMENT	0'-0"
(B)	---	---	5'-0" x 5'-0" x 1'-0" DEEP CONCRETE FOOTING WITH (B) #5 REBARS, EACH WAY, EQUALLY SPACED AT BOTTOM, MIN. 9" CONCRETE COVERAGE	0'-0"
(V)	---	---	2'-0" x 2'-0" x 3'-0" DEEP CONCRETE FOOTING WITH STYROFOAM BELL SLEEVES AS SUPPLIED BY CANOPY MANUFACTURER. PROVIDE (B) #5 HORIZONTAL REBAR LOOPS EQUALLY SPACED AND (A) #5 VERTICAL REBARS, ONE IN EACH CORNER, MIN. 9" CONCRETE COVERAGE.	VARIES



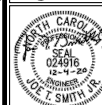
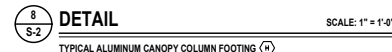
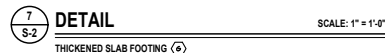
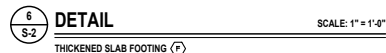
1
S-1
DETAIL
ELEVATOR PIT AND FOOTING

SCALE: 3/4" = 1'-0"



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

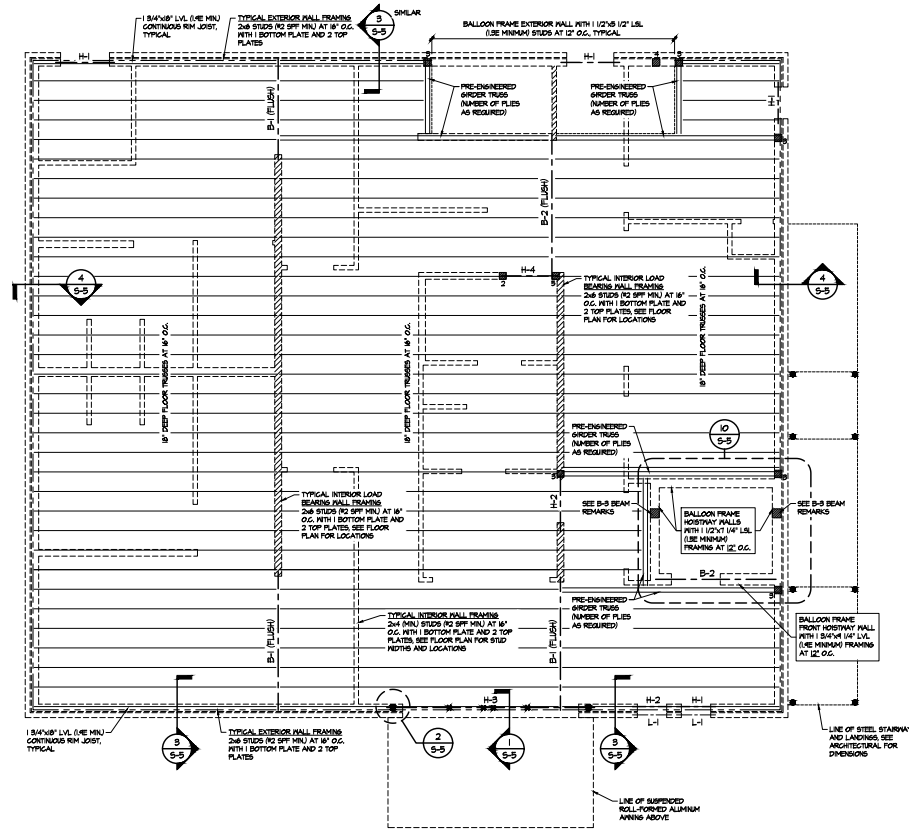
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HEADER AND BEAM SCHEDULE		
MARK	DESCRIPTION	REMARKS
H-1	2-2x10x8 SPT #2 MINIMUM	PROVIDE A MINIMUM OF 1 BEARING STUD EACH END OF HEADER UNLESS NOTED OTHERWISE.
H-2	3-2x10x8 SPT #2 MINIMUM	PROVIDE A MINIMUM OF 2 BEARING STUDS EACH END OF HEADER UNLESS NOTED OTHERWISE.
H-3	1/4" HAZED WITH 3/8" x 1 1/2" CONTINUOUS STEEL PLATE WELDED TO BOTTOM	SEE DETAILS U-8-B AND 238-B
H-4	(3) 1 3/4"x10 1/4" LVL (4# MINIMUM)	SEE FRAMING PLAN FOR BEARING STUDS REQUIRED. SECURE LVL PILES TOGETHER WITH (3) ROWS OF 10# NAILS AT 12" O.C., REQUIRED BOTH SIDES OF ASSEMBLED BEAM.
B-1	(2) 1 3/4"x10 1/4" LVL (4# MINIMUM)	PROVIDE A MINIMUM OF (4) 2x6 BEARING STUDS EACH END OF BEAM UNLESS NOTED OTHERWISE. SECURE LVL PILES TOGETHER WITH (4) ROWS OF 10# NAILS AT 12" O.C., REQUIRED ONE SIDE ONLY OF ASSEMBLED BEAM.
B-2	(3) 1 3/4"x10 1/4" LVL (4# MINIMUM)	PROVIDE A MINIMUM OF (3) 2x6 BEARING STUDS EACH END OF BEAM UNLESS NOTED OTHERWISE. SECURE LVL PILES TOGETHER WITH (4) ROWS OF 10# NAILS AT 12" O.C., REQUIRED BOTH SIDES OF ASSEMBLED BEAM.
B-3	1/4" Bx10 STEEL BEAM	PROVIDE (3) 1 1/2"x1 1/4" LVL (4# MINIMUM) CONTINUOUS BEARING STUDS EACH END OF BEAM.

LINTEL SCHEDULE		
MARK	DESCRIPTION	REMARKS
L-1	1 1/2" x 8 1/2" x 1/4" STEEL LINTEL WITH 6" MINIMUM BEARING	

FLOOR TRUSS FRAMING NOTES	
1.	REFER TO TYPICAL FRAMING DETAILS, SCHEDULES AND GENERAL NOTES FOR ADDITIONAL STRUCTURAL INFORMATION.
2.	WHERE INDICATED, FLOORS SHALL BE FRAMED WITH FLOOR TRUSSES DESIGNED AND BUILT FOR THE TRUSS MANUFACTURER. THE TRUSS MANUFACTURER SHALL DESIGN THE TRUSSES FOR THE LOADS SHOWN ON THESE DRAWINGS.
3.	PROVIDE BRACING AS RECOMMENDED BY FLOOR TRUSS MANUFACTURER.
4.	PROVIDE ADDITIONAL FLOOR TRUSS UNDER PARTITIONS PARALLEL TO TRUSS SPAN OR PROVIDE 2x6 BLOCKING BLOSSING BETWEEN ADJACENT TRUSSES AT 24" O.C. MAXIMUM FOR WALL SUPPORT.
5.	TRUSSES SHALL BE DESIGNED BASED ON THE FOLLOWING DESIGN LOADS, LISTED AS TOLL, TOLL, BOLL, DEFLECTION LIMITS:
	CORRIDORS (80 PSF, 10 PSF, 5 PSF, L&BO)
	OFFICES (80 PSF, 10 PSF, 5 PSF, L&BO)
	CLASSROOMS (40 PSF, 10 PSF, 5 PSF, L&BO)
	LOBBIES (100 PSF, 10 PSF, 5 PSF, L&BO)
	RECREATION AREAS (100 PSF, 10 PSF, 5 PSF, L&BO)
	STAIRS (100 PSF, 10 PSF, 5 PSF, L&BO)
	AREAS NOT LISTED ABOVE (80 PSF, 10 PSF, 5 PSF, L&BO)

GENERAL PLAN NOTES	
1.	SHADING INDICATES LOAD BEARING INTERIOR WALLS.
2.	FRAMING FOR EXTERIOR STEEL STAIRWAY IS TO BE PROVIDED BY STEEL MANUFACTURER.
3.	THE FOLLOWING SYMBOL INDICATES THE NUMBER OF BEARING STUDS TO BE USED IN SIZE AND/OR NUMBER VARIES FROM THAT SPECIFIED IN HEADER AND BEAM SCHEDULE OR IF THEY REQUIRE NOTED/NOTED PLACEMENT (MINIMUM #2 SPT STUDS UNLESS NOTED OTHERWISE) 1/2.
4.	THE FOLLOWING SYMBOL INDICATES LOCATION OF SIGNIFICANT CONCENTRATED LOAD FROM ABOVE 1/2.



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

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Fax: 919.736.2142



REV	DATE	DESCRIPTION

Structural Plans for:
Oakwood Community Development Center
210 Oakwood Street
High Point, North Carolina 27202

(DATE: 4 December 2020)
DRAWN BY: T.R.
SCALE: 1/4" = 1'-0"

S-3



TRUSS PROFILE

SCALE: 1/4" = 1'-0"

HEADER AND BEAM SCHEDULE		
MARK	DESCRIPTION	REMARKS
H-1	2-2x10 (SPF 12 MINIMUM)	PROVIDE A MINIMUM OF 1 BEARING STUD EACH END OF HEADER (ALSO NOTE OVERHANG)
H-2	3-2x10 (SPF 12 MINIMUM)	PROVIDE A MINIMUM OF 2 BEARING STUDS EACH END OF HEADER (ALSO NOTE OVERHANG)
B-1	K 14x22 (1/4" x 1/2" CONTINUOUS STEEL PLATE WELDED TO BOTTOM)	SEE FRAMING PLANS AND NOTES
B-1	(3) 1/4"x16 1/4" LVL (1/2" MINIMUM)	SEE FRAMING PLANS FOR BEARING STUD REQUIRED. SECURE LVL FLIES TOGETHER WITH (3) ROWS OF 10x NAILS AT 12" O.C. REQUIRED BOTH SIDES OF ASSEMBLED BEAM.
B-1	(2) 1/4"x16" LVL (1/2" MINIMUM)	PROVIDE A MINIMUM OF (4) 2x6 BEARING STUDS EACH END OF BEAM (ALSO NOTE OVERHANG). SECURE LVL FLIES TOGETHER WITH (4) ROWS OF 10x NAILS AT 12" O.C. REQUIRED ONE SIDE ONLY OF ASSEMBLED BEAM.
B-2	(3) 1/4"x16" LVL (1/2" MINIMUM)	PROVIDE A MINIMUM OF (3) 2x6 BEARING STUDS EACH END OF BEAM (ALSO NOTE OVERHANG). SECURE LVL FLIES TOGETHER WITH (4) ROWS OF 10x NAILS AT 12" O.C. REQUIRED BOTH SIDES OF ASSEMBLED BEAM.
B-5	K 16x18 STEEL BEAM	PROVIDE (3) 1/2"x1 LVL (1/2" MINIMUM) CONTINUOUS BEARING STUDS EACH END OF BEAM.

LINTEL SCHEDULE		
MARK	DESCRIPTION	REMARKS
L-1	1 @ 12" x 8 1/2" x 14" STEEL LINTEL WITH 8" MINIMUM BEARING	

ROOF FRAMING NOTES

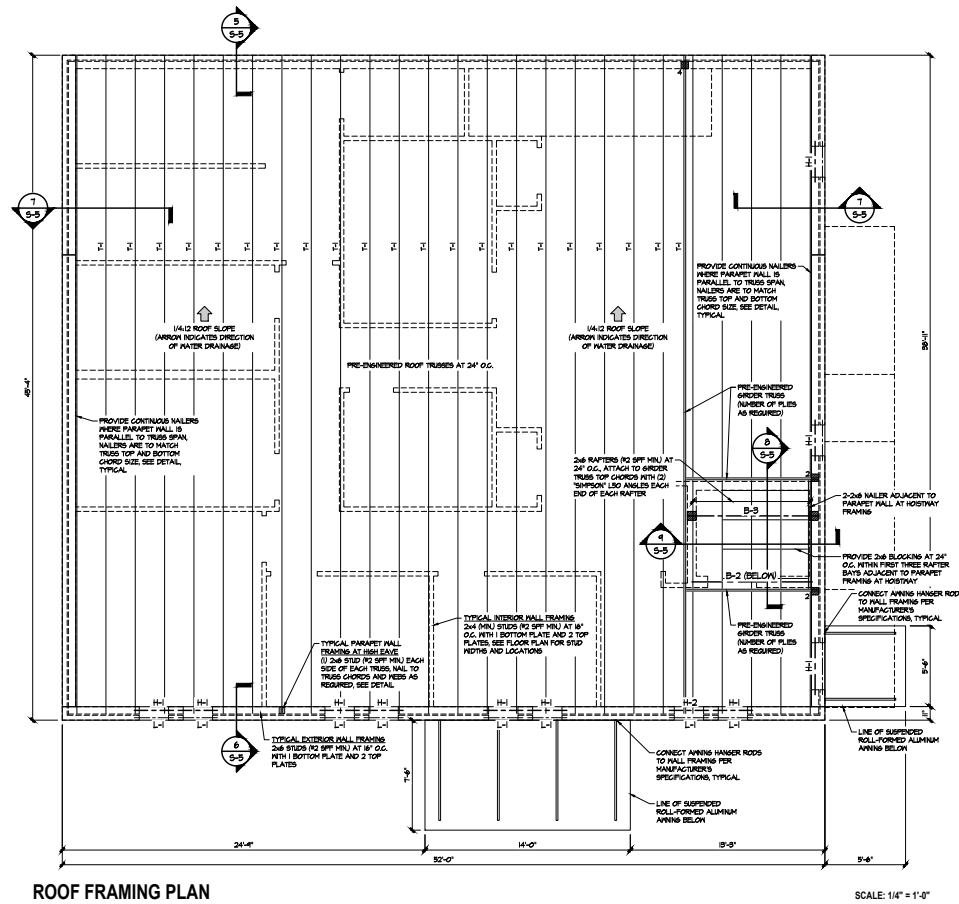
1. REFER TO TYPICAL FRAMING DETAILS, SCHEDULES, GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL STRUCTURAL INFORMATION.
2. ROOFS SHALL BE FRAMED WITH TRUSS TRUSSESS.
BUT NOT BUILT BY THE TRUSS MANUFACTURER. THE TRUSS MANUFACTURER SHALL DESIGN THE TRUSSES FOR THE LOADS SHOWN ON THESE DRAWINGS AND JAWALLAH SHALL CONDUCT COMPREHENSIVE RAIN AND SNOW LOADS. TRUSSES SHALL BE SPACED AT A MAXIMUM OF 24".
3. PROOF ROOF DRAINAGE SHALL BE MAINTAINED AT ALL ROOF DRAININGS. ROOF DRAINAGE AND FLASHING SHALL BE DESIGNED BY OTHERS.
4. ROOFS ARE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LOADS SHOWN ON THE CONSTRUCTION SPECIFICATIONS. UNIFORM LOADS GIVEN ON THESE DRAWINGS ARE REPORTED TO NATH ENGINEERING AND DESIGN P.A. LLC.
5. UNSTANDARD LOADS ARE NOTED ON THE DESIGN DRAWINGS. WITH DESIGNER'S SIGNATURE, THE ARCHITECT IS NOT RESPONSIBLE FOR EFFECTS RESULTING FROM UNEXPECTED CONDITIONS MITIGATING THE ABOVE.

DESIGN CRITERIA

- | | | |
|----|---|--------------------------|
| 1. | OCCUPANCY:
OCCUPANCY RISK CATEGORY PER ASCE 7-10 = | II |
| 2. | IMPORTANCE FACTORS:
SHOW:
SEISMIC: | LO |
| | DESIGN LOADS: | |
| | ROOF TRUSS TOP CHORD LIVE LOAD = | 20 |
| | ROOF TRUSS TOP CHORD DEAD LOAD = | 10 |
| | ROOF TRUSS BOTTOM CHORD LIVE LOAD = | 0 |
| | ROOF TRUSS BOTTOM CHORD DEAD LOAD = | 10 |
| | WALL COLLATERAL LOAD = | 0 |
| | GROUND SNOW LOAD = | 0 |
| 4. | FIND:
FIND DESIGN VELOCITY =
EXPOSURE CATEGORY = | 15
B |
| 5. | SEISMIC:
SITE CLASS =
SEISMIC DESIGN CATEGORY =
S _s =
S ₁ = | "D"
III
0.8
0.2 |
| | STRUCTURAL SYSTEM =
ANALYSIS PROCEDURE =
INTERIOR DESIGN CONTROL = | BE
BE
N |

GENERAL PLAN NOTES

- L. THE FOLLOWING SYMBOL INDICATES THE NUMBER OF BEARING STUDS TO BE USED IF SIZE AND/OR NUMBER VARIES FROM THAT SPECIFIED IN HEADER AND BEAM SCHEDULE OR IF THEY REQUIRE INDEPENDENT PLACEMENT, (MINIMUM #2 SFF STUDS UNLESS NOTED OTHERWISE) @ $\times$



ROOF FRAMING PLAN

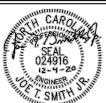
SCALE: 1/4" = 1'-0"

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**SMITH ENGINEERING
AND DESIGN, P.A.**

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Corporation License No. C-2241

Phone: 919.736.2141 Fax: 919.736.2142



REVISIONS

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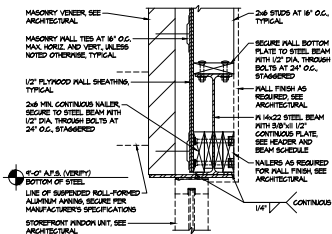
Plans

Structure

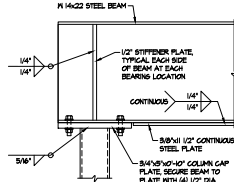
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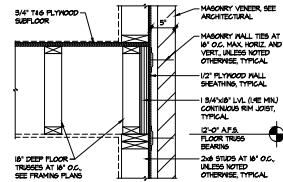
DRAW
SCALE



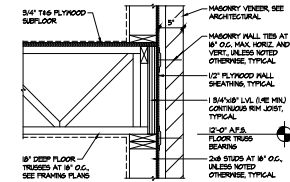
1
S-S
DETAIL
SCALE: 1 1/2" = 1'-0"
W 14x22 (Header H-3) INSTALLATION



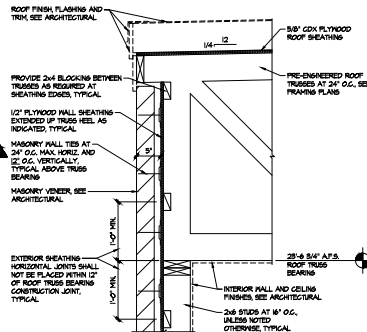
2
S-S
DETAIL
SCALE: 1 1/2" = 1'-0"
W 14x22 to Column Connection at Beam End



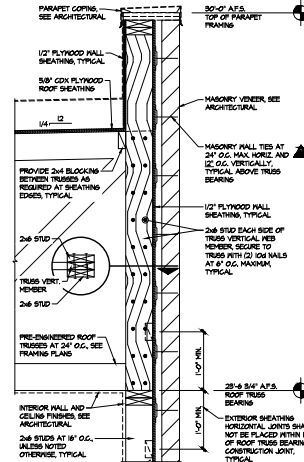
3
S-S
DETAIL
SCALE: 1 1/2" = 1'-0"
EXTERIOR WALL CONSTRUCTION PARALLEL TO FLOOR TRUSS SPAN



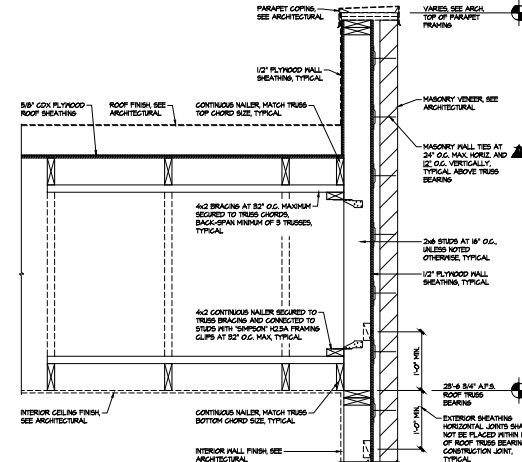
4
S-S
DETAIL
SCALE: 1 1/2" = 1'-0"
EXTERIOR WALL CONSTRUCTION PERPENDICULAR TO FLOOR TRUSS SPAN



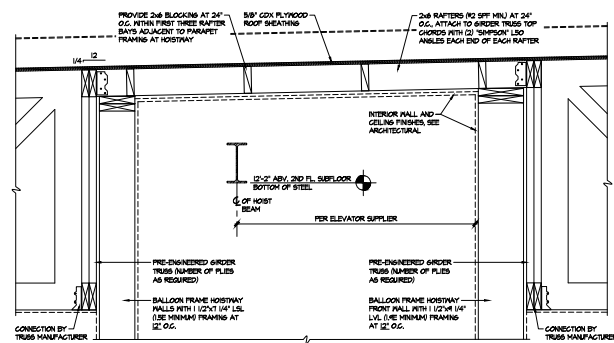
5
S-S
DETAIL
SCALE: 1" = 1'-0"
TRUSS BEARING AT LOW EAVE



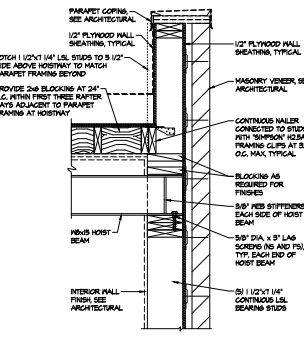
6
S-S
DETAIL
SCALE: 1" = 1'-0"
TRUSS BEARING AT HIGH EAVE



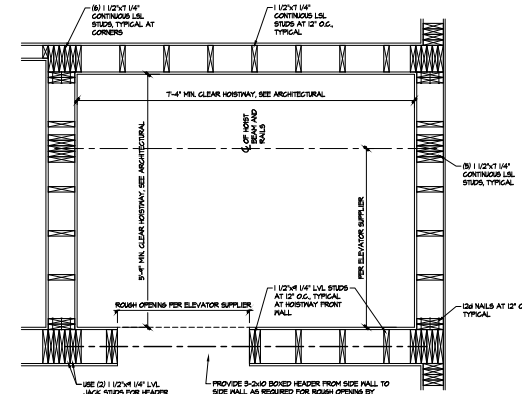
7
S-S
DETAIL
SCALE: 1" = 1'-0"
PARAPET CONSTRUCTION PARALLEL TO ROOF TRUSS SPAN



8
S-S
DETAIL
SCALE: 1" = 1'-0"
ELEVATOR HOISTWAY AND HOIST BEAM



9
S-S
DETAIL
SCALE: 1" = 1'-0"
ELEVATOR HOIST BEAM BEARING AND PARAPET FRAMING



10
S-S
DETAIL
SCALE: 1" = 1'-0"
ELEVATOR HOISTWAY FRAMING

STRUCTURAL NOTES

FOUNDATIONS

1. SOIL DESIGN BEARING VALUE - 2000 PSF TO BE FIELD VERIFIED BY INDEPENDENT GEOTECHNICAL TESTING LABORATORY.
2. SITE PREPARATION AND PLACEMENT OF ENGINEERED COMPACTED FILL SHALL BE MONITORED BY THE GEOTECHNICAL LABORATORY. ALL NECESSARY STRIPPING, CUTTING, PROOF, ROLLING, AND FILLING OPERATIONS SHALL BE SO MONITORED.
3. ALL FILL INSIDE THE BUILDING AND TO 10' OUTSIDE THE BUILDING INCLUDING WALKS, STORIES, AND STEPS SHALL BE CLEAN SELECT MATERIAL FREE OF SUBSTANTIAL MATERIALS SUCH AS WOOD, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIALS. PLACE FILL IN 8" LIFTS, MEASURED LOOSE, AND COMPACT EACH LIFT TO 95% MINIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS MEASURED BY ASTM D698. THE UPPERMOST 14" SHALL BE COMPACTED 100% LOOSE MINIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS MEASURED BY ASTM D698.
4. ALL FOOTING DIMENSIONS SHALL BE APPROVED BY THE GEOTECHNICAL LABORATORY PRIOR TO PLACING FOOTING CONCRETE. SPECIFICALLY APPROVED BY THE ENGINEER.
5. FOOTING ELEVATIONS SHALL NOT BE RAISED OR LOWERED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER.
6. FOOTINGS MAY BE RAISED TO LOWER ELEVATION WHERE DIRECTED BY THE ENGINEER.
7. CONSTRUCTION JOINTS IN CONTINUOUS WALL FOOTING SHALL BE MINST JOINTS BETWEEN COLUMNS AND AT LEAST 4' FROM THE INTERSECTION OF ANOTHER WALL FOOTING.
8. COLUMN FOOTING IN LINE WITH WALL FOOTINGS SHALL BE PLACED CONTINUOUSLY AND FLUSH TOP WITH CONTIGUOUS WALL FOOTINGS.
9. FOUNDATIONS SHALL BE PLACED ONLY ON APPROVED NATURAL UNDISTURBED SOIL STRATA OR ON PROPERLY PLACED ENGINEERED CONTROLLED COMPACTED FILL UNDER THE SUPERVISION OF GEOTECHNICAL LABORATORY.
10. PROVIDE ADEQUATE TEMPORARY BRACING FOR THE FOUNDATION WALLS DURING BACKFILLING AND CONSTRUCTION OPERATIONS.

CONCRETE

1. CONCRETE SHALL DEVELOP THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS:
 - A. FOOTINGS AND FOUNDATIONS - 3000 PSI
 - B. INTERIOR SLABS ON GRADE - 3000 PSI
 - C. EXTERIOR SLABS ON GRADE - 4000 PSI
2. CONCRETE SHALL BE REGULAR STONE CONCRETE.
3. CONCRETE TO BE PERMANENTLY EXPOSED TO WEATHER SHALL HAVE 5% AIR ENTRAINMENT.
4. CONCRETE FOR NOT PERMANENTLY EXPOSED TO THE WEATHER SUCH AS FOUNDATIONS AND INTERIOR FLOOR SLABS SHALL NOT HAVE AIR ADDED BY ENTRAINMENT.
5. ALL CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318.
6. OBSERVE ALL AND STRICTLY FOLLOW ALL ACI 305 AND 308 REQUIREMENTS, RESPECTIVELY FOR PROTECTION OF CONCRETE IN HOT AND COLD WEATHER.
7. ALL CONCRETE WORK SHALL BE PROPERLY CURED IN CONFORMANCE WITH ACI 308. EITHER WATER CURING METHOD OR SEALING MATERIALS METHOD MAY BE USED TO PROVIDE THAT THE METHOD CHOSEN HAS NO DETRIMENTAL EFFECT ON THE FINAL FINISH SPECIFIED FOR THE RESPECTIVE AREAS.
8. PLACE 1/2" PRE-FORMED, IMPREGNATED EXPANSION JOINT FILLER FULL DEPTH OF SLAB ON GRADE AT ALL HEATING FOUNDATION WALL SURFACES UNLESS OTHERWISE NOTED.
9. PROVIDE CONSTRUCTION OR CONTROL JOINTS IN SLABS ON GRADE IN LOCATIONS AS SHOWN ON FOUNDATION PLAN OR AT OTHER LOCATIONS APPROVED BY THE ENGINEER. BUT SPACING OF JOINTS SHALL NOT EXCEED 20' IN ANY DIRECTION.
10. THE TYPE OF JOINT USED WHETHER CONTROL JOINT OR CONSTRUCTION JOINT IS THE OPTION OF THE CONTRACTOR UNLESS OTHERWISE NOTED ON THE DRAWINGS.
11. SAW JOINTS FOR CONTROL JOINTS IN THE CONCRETE SLABS SHALL BE MADE AS SOON AS THE CONCRETE HAS SUFFICIENT STRENGTH TO PREVENT SPLITTING OF THE JOINT DUE TO THE ACTION OF THE SAW, BUT IN NO CASE GREATER THAN 4 HOURS AFTER INITIAL PLACEMENT OF THE CONCRETE. UTILIZE SOFT CUT TECHNOLOGY IF NECESSARY TO EXPEDITE SAWING OF SLAB CONTROL JOINTS. INSTALL THE SAW-HOPE JOINT FILLER ONLY AFTER THE SLABS HAVE FULLY CURED.
12. CHAMFER EXPOSED EDGES AND CORNERS OF CONCRETE 3/4" UNLESS OTHERWISE NOTED.
13. SEE GENERAL DRAWINGS FOR REQUIRED FLOOR FINISHES AND PROVIDE NECESSARY REVISIONS, DEPRESSIONS, AND SLAB FINISH AS REQUIRED TO ACCEPT FINISHES.
14. ALL CONCRETE FIELD TESTING SHALL BE IN ACCORDANCE WITH ACI AND ASTM STANDARDS.
15. ALL CONCRETE SAMPLES FOR FIELD TESTS SHALL BE TAKEN AT FINAL POINT OF DISCHARGE WHETHER IT BE THE TRUCK CHUTE OR THE END OF THE HOSE FOR PUMPER TRUCK.

REINFORCING STEEL

1. BARS SHALL BE ROLLED FROM NEW BILLET-STEEL CONFORMING TO "SPECIFICATION FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" ASTM A615, GRADE 60.
2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND SHALL BE FURNISHED IN FLAT SHEETS.
3. METAL AND FABRICATE REINFORCING STEEL IN ACCORDANCE WITH "MANUAL OF STANDARD PRACTICES FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
4. REINFORCING STEEL SHALL BE IN PLACE AND REINFORCED BY THE LOCAL BUILDING INSPECTOR PRIOR TO PLACING CONCRETE.
5. PLACE ONE LAYER OF 6 X 6 X W14 X W14 OR EACH WAY AT MINIMUM OF 4" SLABS ON GRADE AND ONE LAYER OF 6 X 6 X W14 X W14 OR EACH WAY AT MINIMUM OF 8" SLABS ON GRADE.
6. PROVIDE ADEQUATE SUPPORTS TO HOLD REBARS IN PLACE WHILE PLACING THE CONCRETE. THE REBARS TO SUPPORTS TO PREVENT MOVEMENT WHILE PLACING THE FRESH CONCRETE.
7. FABRICATE BARS IN CONTINUOUS FOOTINGS, WALLS, BOND BEAMS AND TURNED DOWN SLABS TO LONGEST PRACTICAL LENGTHS.
8. CAP REBAR SPACES A MINIMUM OF 48 BAR DIAMETERS BUT A MINIMUM OF 24" UNLESS OTHERWISE NOTED. PLAIN REBAR SPACES TO OCCUR AT POINTS OF MINIMUM STRESS UNLESS OTHERWISE SHOWN.
9. TERMINATE CONTINUOUS BARS IN TURNED DOWN SLABS, WITH A STANDARD 90 DEGREE HOOK AT DISCONTINUOUS ENDS, CORNERS, AND INTERSECTIONS.
10. AT LOCATIONS REQUIRING VERTICAL DOWELS INTO FOOTINGS, THE PLACEMENT OF THE DOWELS SHALL MATCH THE SIZE AND THE LOCATION OF THE VERTICAL WALL REBARS REQUIRING THE DOWELS.
11. ALL DOWELS SHALL TERMINATE IN THE FOOTING WITH A STANDARD 90 DEGREE HOOK UNLESS OTHERWISE SHOWN OTHERWISE. DOWELS SHALL BE PLACED AT 12" ON CENTER VERTICALLY AND 48 BAR DIAMETERS OR A MINIMUM OF 24".
12. PROVIDE THE FOLLOWING CLEARANCES FROM REBARS TO CONCRETE FACE UNLESS OTHERWISE NOTED ON DRAWINGS:
 - A. DARTH FORMS - 3"
 - B. WALL FORMS - 2"
 - C. TOP OF CLASS - 1"

STRUCTURAL STEEL

1. STEEL SHAPES SHALL CONFORM TO STRUCTURAL STEEL - ASTM A992, FY = 50 KSI, FU = 65 KSI.
2. STEEL PLATES, BARS AND RODS - ASTM A36.
3. PIPE COLUMNS - ASTM A53, GRADE B, FY = 36 KSI, FU = 50 KSI.
4. BOLTS - ASTM A325.
5. FLAT ANCHORS - ASTM A36.
6. WELDS - AWS CLASS E70 LOW HYDROGEN ELECTRODES.
7. TUBE COLUMNS - ASTM A500, GRADE B, FY = 48 KSI, FU = 58 KSI.
8. COLUMN ANCHOR RODS - ASTM F1554 GRADE 36.
9. ALL STEEL WORK SHALL CONFORM TO "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND THE AISC STANDARD PRACTICES."
10. CONNECTION BOLTS SHALL BE 3/4" DIAMETER ASTM A325 BOLTS WITH PROPER HOOKED END AND HEX NUTS. ALL BOLTS AND NUTS SHALL BE PLACED IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING A325 AND A490 BOLTS."
11. UNLESS OTHER WERE NOTED ALL CONNECTION BOLTS FOR ALL STRUCTURAL STEEL TO STRUCTURAL STEEL MEMBERS SHALL BE FULLY TIGHTENED SHUT TIGHT REQUIREMENTS OF AISC.
12. INITIAL A SURFACE IMPROVED ANCHORS UNDER THE HEAD OR NUT, BRACKETER IS USED AS THE TURNED ELEMENT FOR TIGHTENING AND OVER ALL EXPOSED SCOTCH OR OVERSIZED HOLES.
13. ALL CONNECTIONS ARE TO BE DESIGNED AS BEARING TYPE WITH THREADS IN THE SHEAR PLANE.
14. WELDING SHALL BE DONE BY WELDING OPERATORS CERTIFIED WITH THE WELDING EQUIPMENT BEING USED FOR WELDING THIS JOB AS QUALIFIED ACCORDING TO AWS D1.
15. ALL CORPES, CUTS, BLOCKS, NOTCHES SHALL HAVE SMOOTH RE-ENTRANT CORNERS OF 1/2" MINIMUM RADIUS.
16. RETURN ALL WELDS AT CORNERS A MINIMUM OF TWICE THE NOMINAL SIZE OF THE WELLS.
17. PROVIDE HOLES FOR BLOODING AND NAILER BOLTS AS REQUIRED BY STRUCTURAL DRAWINGS.
18. STRUCTURAL STEEL SHALL RECEIVE ONE COAT OF RED OXIDE PRIMER OF 2 MILS DFT. SURFACE PREPARATION SHALL BE POWER TOOL CLEANING, RESPECTIVELY FOR PROTECTION TO SPCC-57A.
19. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING OF STEEL FRAMING AND LOAD TRANSFER TO THE FOUNDATION PRIOR TO THE STRUCTURE AND WORKMAN BRACING TO REMAIN UNTIL NO LONGER REQUIRED FOR SUPPORT OF THE FRAME.
20. ALL STEEL COLUMN AND ANCHOR ROD PARTS BELOW GRADE SHALL BE ADEQUATELY PROTECTED WITH A HEAVY BITUMASTIC COATING IF NOT ENCASED IN CONCRETE OF SUFFICIENT THICKNESS TO PROVIDE A MINIMUM 3" PROTECTIVE COVER.
21. COLUMN CAP AND BASE PLATES SHALL BE FULLY WELDED ALL AROUND TO COLUMN SHAFT WITH 5/16" FALLET WELDING.
22. ALL COLUMNS SHALL HAVE A MINIMUM OF 4 ANCHOR RODS.

PRE-ENGINEERED WOOD ROOF TRUSS SYSTEM

1. ROOF FRAMING SHALL BE ACCOMPANIED USING MINIMUM PRE-ENGINEERED WOOD ROOF TRUSS FRAMING WITH COVERING ROOF PITCHES AS INDICATED ON PLANS.
2. MANUFACTURER SHALL MEET ROOF TRUSS SPACING SHALL NOT EXCEED 24" CENTER TO CENTER UNLESS OTHERWISE NOTED ON PLANS.
3. ROOF TRUSSES SHALL BEAR ON THE LOAD BEARING WALLS AND GIRDERS AS INDICATED ON THE PLANS.
4. ALL ROOF TRUSS CHORDS SHALL BE NO. 2 OR BETTER SOUTHERN YELLOW PINE LUMBER OF 2X6 MINIMUM SIZE.
5. ALL ROOF TRUSS WEB MEMBERS LONGER THAN 24" SHALL BE NO. 2 OR BETTER SOUTHERN YELLOW PINE LUMBER.
6. ROOF TRUSS SHAPES WEB CONFIGURATIONS, AND DIMENSIONS SHALL BE DETERMINED BY THE TRUSS MANUFACTURER FROM THE DRAWINGS REQUIREMENTS.
7. ALL ROOF TRUSS SECTIONS SHALL BE FASTENED TO A MINIMUM OF TWO SUPPORTS WITH TAMPSON (OR APPROVED EQUIV.) HOLD DOWN CLIPS AS INDICATED ON PLANS.
8. ROOF SHEATHING SHALL BE MINIMUM 5/8" CDX PLYWOOD OR OSB BOARD.
9. ALL ROOF TRUSS SECTIONS SHALL BE NAILED WITH 8D NAILS SPACED AT 12" O.C. ALL ROOF SHEATHING PANEL FIELDS SHALL BE NAILED TO ROOF TRUSSES WITH 8D NAILS SPACED AT 12" O.C.
10. LEAVE A 1/8" SEAM GAP ALL AROUND ROOF SHEATHING PANELS FOR PANEL SWELL DUE TO AMBIENT MOISTURE.
11. ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW ALONG WITH CALCULATIONS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER DULY REGISTERED IN THE STATE OF NORTH CAROLINA.
12. ALL PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THEIR SUPPLIER FOR THE ACTUAL DEAD LOADINGS AND LIVE LOADINGS SPECIFIED FOR LOADING CONDITIONS AS FOR THE CURRENT EDITION OF THE NORTH CAROLINA BUILDING CODE. DUE REGARD SHALL BE GIVEN TO THE LOADING OF THE TOP AND BOTTOM CHORDS AS REQUIRED.
13. ALL ROOF TRUSSES SHALL BE ANCHORED TO SUPPORTING WALLS, TRUSSES AND BEAMS WITH CHAIRS ANCHORED CLIPS AT EACH TRUSS END CLIPS SHALL BE SUPPLIED BY THE TRUSS SUPPLIER AND SHALL BE SHOWN ON THE SHOP DRAWINGS.
14. PROVIDE PROPER SIZE AND NUMBER OF NAILS OR SCREWS IN ALL DESIGNATED HOLES OF THE CONNECTIONS TO ACHIEVE FULL TIGHT LOAD OF CONNECTION.
15. ALL SPECIAL HEAVY FRAMING CONNECTIONS BETWEEN GIRDERS, HP, AND WALLS TRUSSES SHALL BE DETAILED ON SHOP DRAWINGS FOR APPROVAL AND PRE-FABRICATION AND SHALL NOT BE FIELD ALTERED UNLESS APPROVED BY THE ENGINEER. ALL SPECIAL CONNECTIONS SHALL BE SUPPLIED BY THE TRUSS SUPPLIER.

16. ALL PERMANENT AND TEMPORARY BRACING REQUIREMENTS SHALL BE CLEARLY INDICATED ON THE SHOP DRAWINGS. ALL BRACING LUMBER SHALL BE DIMENSIONED AND INSTALLED BY THE CONTRACTOR.
17. SHOP DRAWINGS SHALL SHOW ALL REQUIRED STRUCTURAL CONNECTIONS INCLUDING ANCHORAGE TO THE BUILDING ELEMENTS.
18. STRUCTURAL CALCULATIONS FOR THE PRE-ENGINEERED WOOD TRUSSES SHALL BEAR THE SEAL OF THE SUPERVISING PROFESSIONAL ENGINEER DULY REGISTERED IN THE STATE OF NORTH CAROLINA.
19. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER DETAILS OF ALL ROOF TRUSS WORK.
20. ALL CARPENTRY AND MECHANIC FRAMING WORK RELATIVE TO THE PRE-ENGINEERED WOOD TRUSS SYSTEM SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER WITH TIGHT FITTING JOINTS. ALL MULTIPLE MEMBERS SHALL BE THOROUGHLY AND FULLY BOLTED TOGETHER TO ACT AS ONE COMPOSITE MEMBER. WORK NOT PERFORMED IN THIS WORKMANLIKE MANNER IS SUBJECT TO BE REJECTED BY THE ENGINEER. REJECTED WORK SHALL BE REMOVED AND REPEATED BY THE CONTRACTOR AT NO ADDITIONAL COST.
21. ALL JOINTS OF MULTIPLE PLY ROOF TRUSSES SHALL BE FIELD CONNECTED TOGETHER WITH 1/2" DIAMETER BOLTS SPACED AT 36" O.C. BOLTS SHALL BE PLACED IN THE CENTER OF THE CHORD AND WEB MEMBERS. INDICATE THE DETAIL ON THE SHOP DRAWINGS FOR PROPER FIELD CONNECTION. ALL REQUIRED ROOF MATERIAL SHALL BE PROVIDED WITH A STANDARD FLAT WASHER UNDER THE HEAD AND NUT. CRACK SHOT HEX NUTS FOR ALL TWO BOLTS. SPECIAL HOLD DOWN ANCHORS SHALL BE SHOWN ON THE SHOP DRAWINGS AND SHALL BE PROVIDED BY THE TRUSS SUPPLIER.
22. TRUSS REACTION SHALL BE INDICATED ON THE TRUSS SHOP DRAWINGS. REACTION POINTS SHALL BE INDICATED ON THE TRUSS DETAIL PLAN.

EXTERIOR WOOD WALL FRAMING

1. EXTERIOR WALL STUDS SHALL BE STUD GRADE OR BETTER 2X6 SPLY LUMBER SPACED AT 16" O.C. UNLESS NOTED OTHERWISE.
2. GRADED STRESS RATED FINGER JOINTED LUMBER OF EQUAL STRENGTH MAY BE UTILIZED FOR WALL FRAMING AT THE OPTION OF THE CONTRACTOR.
3. ALL WALL BOTTOM PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED NO. 2 OR BETTER SPS.
4. ALL WALL TOP PLATES AND OTHER BOTTOM PLATES SHALL BE NO. 2 OR BETTER SPS.
5. ALL EXTERIOR WALL SURFACES SHALL BE SHEATHED WITH 1/2" CDX SHEATHING GRADE PLYWOOD OR 1/2" OSB SHEATHING. ALL PANEL SEAMS SHALL BE INDICATED ON THE DRAWINGS. LEAVE A 1/8" SEAM GAP ALL AROUND WALL SHEATHING PANELS FOR PANEL SWELL DUE TO AMBIENT MOISTURE.
6. WALL WALL SHEATHING TO STUD WORK WITH 8D NAILS SPACED AT 4" AT PANEL EDGES AND 12" O.C. IN PANEL FIELD UNLESS NOTED OTHERWISE.
7. WALL WALL SHEATHING TO ALL BOTTOM AND TOP PLATES WITH 8D SPACED AT 4". AT DOUBLE PLATES STAGGER NAILING WITH 8" SPACING ON EACH PLATE MEMBER UNLESS NOTED OTHERWISE.
8. ANCHOR EXTERIOR BUILDING WALLS TO FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED ON PLANS.

INTERIOR LOAD BEARING WOOD WALL FRAMING

1. ALL INTERIOR WALL STUDS SHALL BE STUD GRADE OR BETTER SPLY LUMBER SPACED AT 16" O.C. SIZE OF STUDS TO BE AS INDICATED ON FLOOR PLAN.
2. ALL INTERIOR LOAD BEARING WALL OYPSSAM BOARD SHALL BE 1/2" OR 5/8" AS SPECIFIED.
3. SCREW PATTERN FOR OYPSSAM WALL BOARD PANELS AT INTERIOR LOAD BEARING WALLS SHALL BE #10 DRY WALL SCREWS SPACED AT 4" AT PANEL EDGES AND 12" IN PANEL FIELD.

INTERIOR PARTITION WOOD WALL FRAMING

1. ALL INTERIOR PARTITION WALLS SHALL BE STUD GRADE OR BETTER SPLY LUMBER SPACED AT 16" O.C. SIZE STUDS TO BE AS INDICATED ON FLOOR PLAN.
2. ALL INTERIOR LOAD BEARING WALL OYPSSAM BOARD SHALL BE 1/2" OR 5/8" AS SPECIFIED.
3. SCREW PATTERN FOR OYPSSAM WALL BOARD PANELS AT INTERIOR LOAD BEARING WALLS SHALL BE #10 DRY WALL SCREWS SPACED AT 4" AT PANEL EDGES AND 12" IN PANEL FIELD.

LSL WALL FRAMING

1. PRODUCT QUALITY SHALL CONFORM TO THE MANUFACTURER'S APPROVED QUALITY CONTROL MANUAL, WITH CERTIFICATION SERVICES PROVIDED BY APA EDS IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS.
2. LSL WALL STUDS, SILL PLATES, HEADERS AND COLUMNS SHALL BE PROTECTED FROM DIRECT EXPOSURE TO MOISTURE PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL USE STANDARD CONNECTION HARDWARE WHERE INDICATED ON PLANS.
4. LSL WALL STUDS SHALL BE 1 1/2"x7 1/4" 1.5E LAMBERSTRAND LSL OR 1 1/2"x6 1/2" 1.5E LAMBERSTRAND LSL AS INDICATED ON PLANS. SILL PLATES AT LSL STUD FRAMING SHALL BE 1 1/2"x7 1/4" 1.5E LAMBERSTRAND LSL OR 1 1/2"x6 1/2" 1.5E LAMBERSTRAND LSL MATCH STUD WIDTH, UNLESS NOTED OTHERWISE.

DIMENSIONS

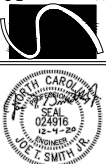
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DIMENSIONS IN THE DRAWINGS AND ADVISING THE ENGINEER OF ANY DIFFERENCES OR DISCREPANCIES ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

EXISTING CONDITIONS

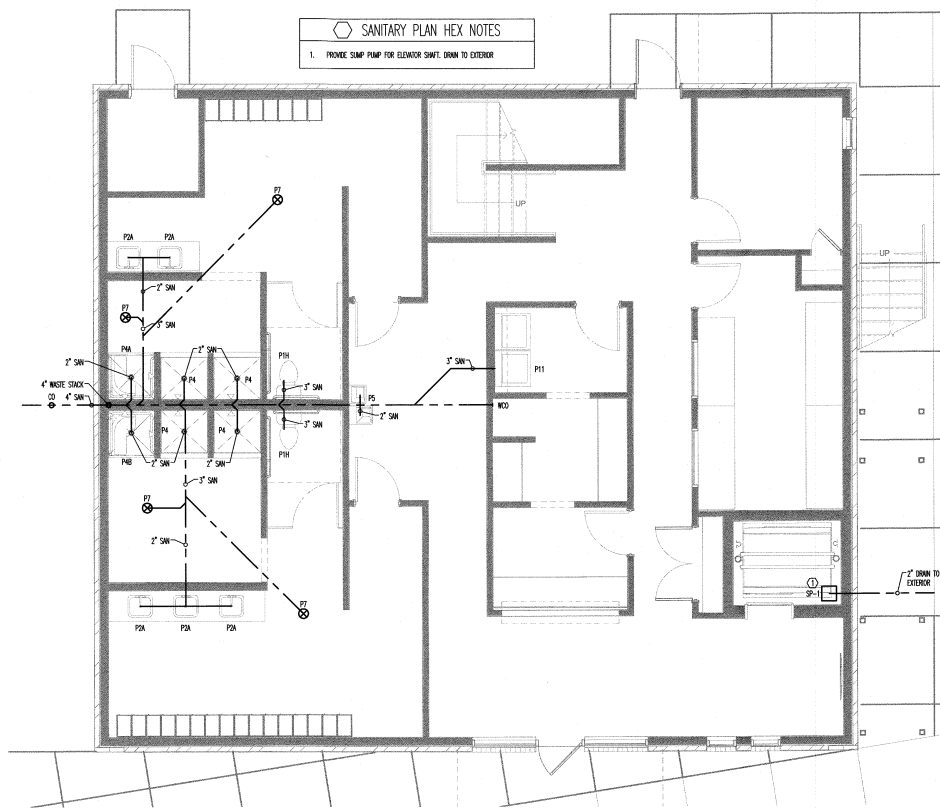
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS AND ADDRESSING EXISTING CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONSTRUCTION.

CONSTRUCTION SAFETY

1. THESE DRAWINGS DO NOT CONTAIN THE REQUIREMENTS FOR JOB SAFETY. ALL PROVISIONS FOR SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



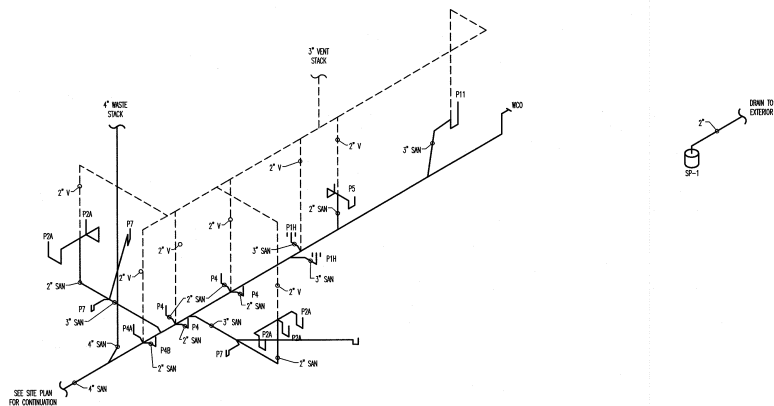
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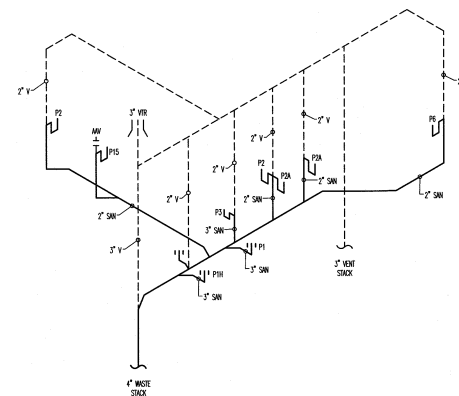
1ST FLOOR PLUMBING WASTE PLAN - SCALE: 1/4" = 1' 1



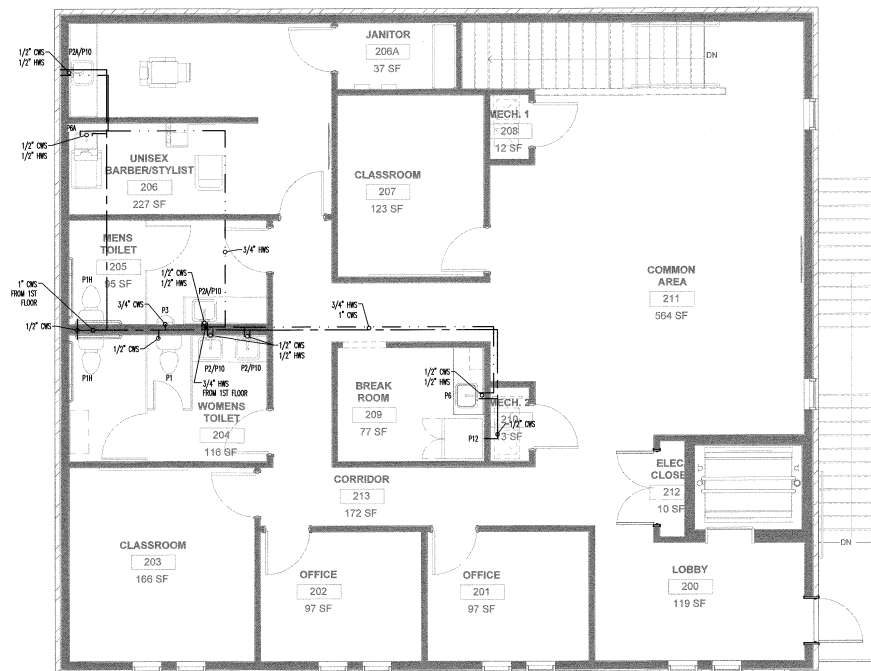
2ND FLOOR PLUMBING WASTE PLAN - SCALE: 1/4" = 1' 2

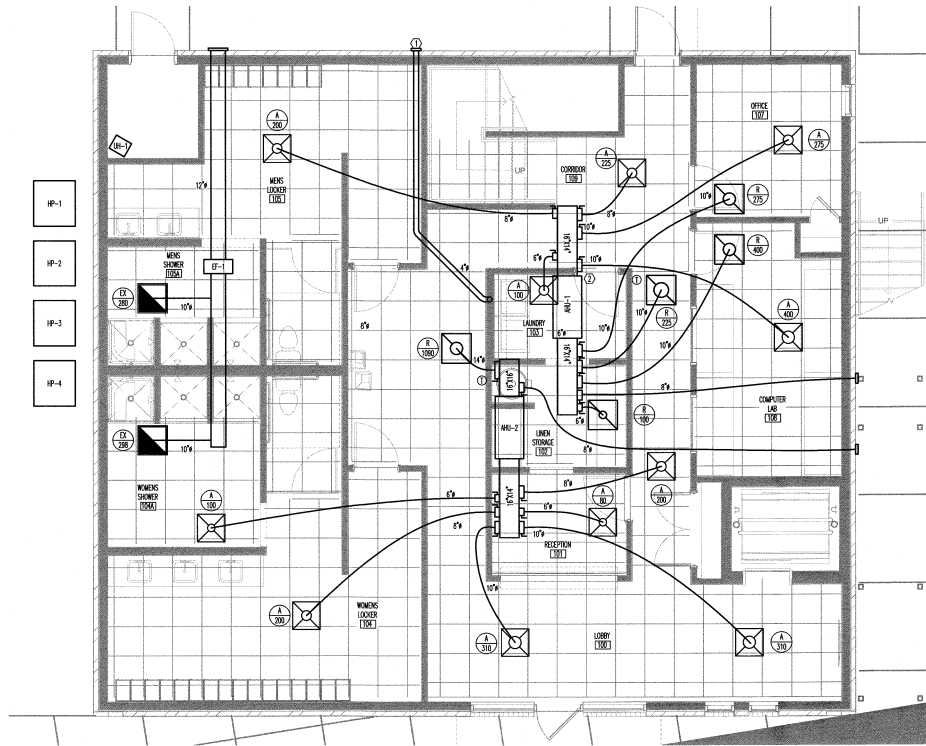


1ST FLOOR PLUMBING WASTE RISER - NO SCALE	1
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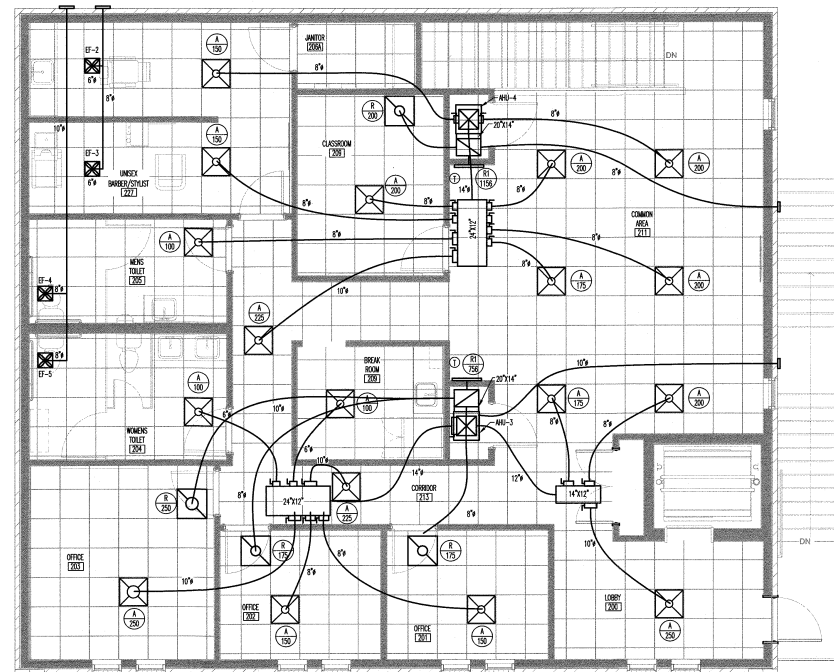
2ND FLOOR PLUMBING WASTE RISER- NO SCALE 4

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HEX PLAN NOTES

- 4" DRYER EXHAUST DUCT, TOTAL EQUIPMENT LENGTH NOT TO EXCEED 35'
- 12"X12" TRANSFER GRILLE ABOVE DOOR

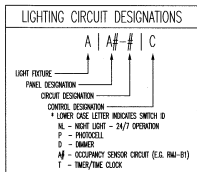


HEX PLAN NOTES

- 20"X14" RETURN DUCT UP

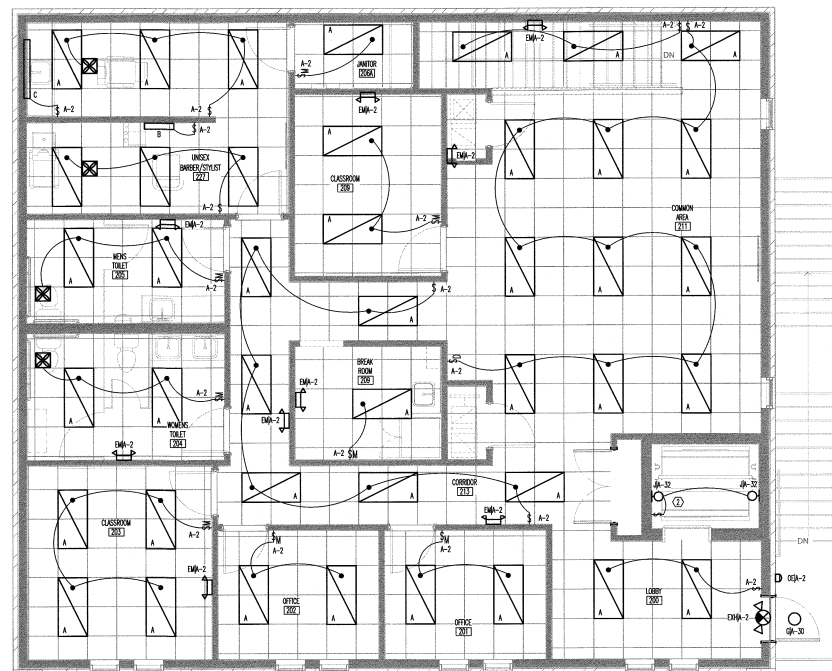
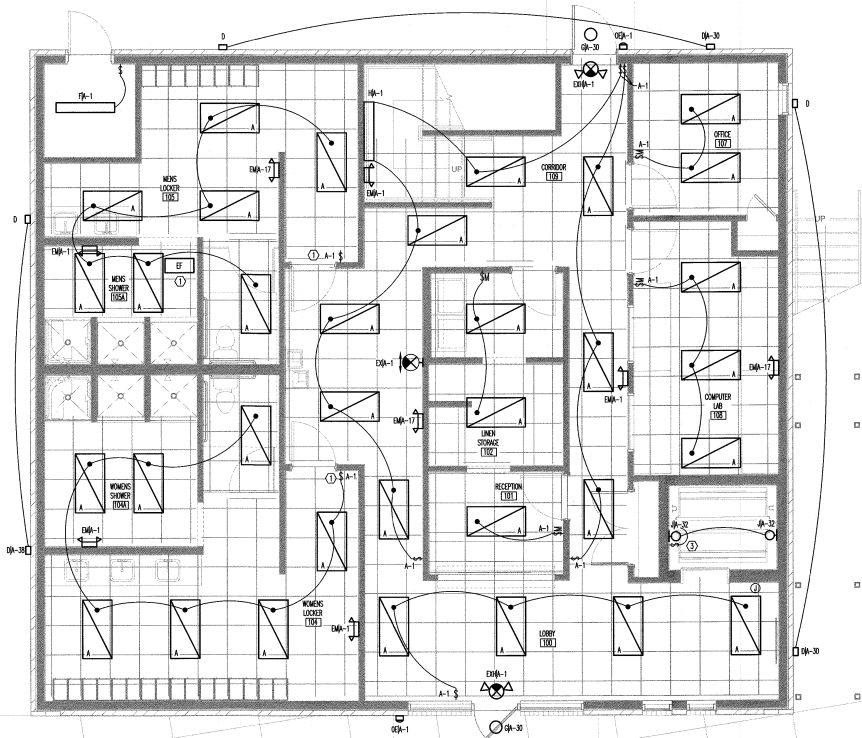
1ST FLOOR MECHANICAL PLAN - SCALE: 1/4" = 1' 1

2ND FLOOR MECHANICAL PLAN - SCALE: 1/4" = 1' 2



- | LIGHTING PLAN HEX NOTES | |
|-------------------------|---|
| 1. | WIRE EXHAUST FAN TO OPERATE WITH LIGHT SWITCH |
| 2. | LOCATE SWITCH 4 FT ABOVE LANDING |
| 3. | LOCATE SWITCH 4 FT ABOVE FLOOR NEXT TO TOP RUNG OF LADDER |

NOTE: ALL EXTERIOR LIGHTS TO BE CONTROLLED BY PHOTOCELL



1ST FLOOR LIGHTING PLAN - SCALE: 1/4" = 1' 1

2ND FLOOR LIGHTING PLAN - SCALE: 1/4" = 1' 2

PROJECT NO: 20460

SHEET NO.

DRIVEN DEAR
QUESTIONS BY MARK L. COLE

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ISSUED:

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Figure 1

1. **Introduction**

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CONSTRUCTION

QUALITY

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MICHAEL W.
WILSON

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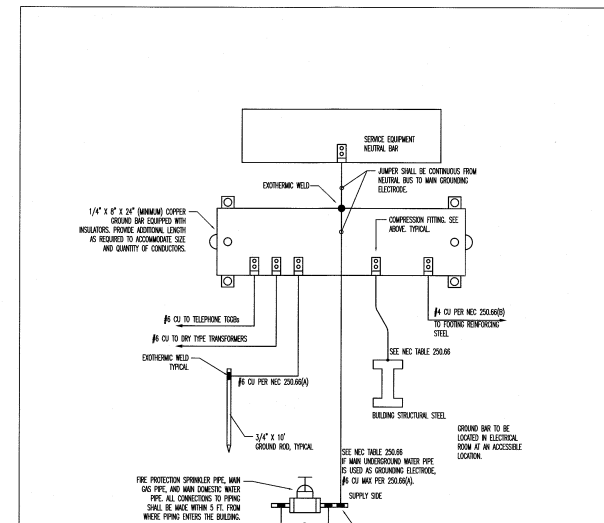
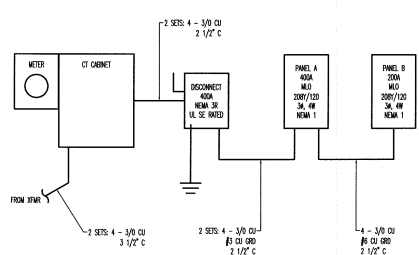
PANEL A									
OUT	LOAD	BRK	LOAD kVA	PH	LOAD kVA	BRK	LOAD	OUT	
1	LIGHTS 1ST FLOOR	20V/1	1.40	A	1.30	20V/1	LIGHTS 2ND FLOOR	2	
3	LIGHT REC.	20V/1	1.00	B	0.90	20V/1	1ST FLOOR CORRIDOR	4	
5	COMPUTER REC.	20V/1	1.00	C	1.00	20V/1	COMPUTER REC.	6	
7	OFFICE 1 REC.	20V/1	0.72	A	0.18	20V/1	WATER COOLER	8	(10)
9	DRYER	30V/2	2.00	B	0.18	20V/1	WASHER	10	
11									
13	BATHROOM REC.	20V/1	0.36	A	0.90	20V/1	2ND FLOOR CORRIDOR	12	
15	2ND FLOOR OFFICES	20V/1	1.00	B	0.36	20V/1	SERVICE REC.	14	
17	BREAK ROOM REC.	20V/1	0.18	C	0.18	20V/1	BATHROOM REC.	16	
19	BREAK ROOM REC.	20V/1	0.18	A	0.72	20V/1	REFRIGERATOR	18	(10)
21	COMMON ROOM REC.	20V/1	0.72	B	0.72	20V/1	CLASSROOM 1 REC.	20	
23	BARBER REC.	20V/1	0.36	C	13.00		CLASSROOM 2 REC.	22	
25	BARBER COUNTER	20V/1	0.18	A	7.40	70V/3		24	
27	STYLIST REC.	20V/1	0.54	B	7.40		WATER HEATER	26	
29	SPACE		0.00	C	0.90	20V/1		28	
31	STON	20V/1	1.20	A	0.00		EXTENSION LIGHTS	30	
33	ELEVATOR LIGHT CIRCUIT	20V/1	0.60	B	0.96	20V/1	SPACE	32	
35	ELEVATOR SVC RECEPTACLES	20V/1	0.36	C	0.18	20V/1	ELEVATOR SUMP PUMP	34	
37			7.81	A	17.20		FACE	36	
39	ELEVATOR	120V/3	7.81	B	16.90	200V/3		38	
41			7.81	C	12.40		PANEL B	40	
			kVA	PH	AMPS				
			29.6	A	330				
			41.3	B	544				
			40.4	C	337				
VOLTAGE/PHASE									
BUS RATING									
MAIN CIRCUIT BREAKER RATING									
AFC RATING									
SERVICE ENTRANCE RATED									
ENCLOSURE									
MOUNTING									
NOW 1									
SURFACE									

○ INDICATES Q/O BREAK

NET ELECTRIC DEMAND SUMMARY 200Y/120V, 3P, 4W									
EQUIPMENT	DEMAND FACTOR	kVA			LOAD kVA	NEC REFERENCE	NOTES/CALCULATIONS		
LIGHTING	1.25	6.47	6.47	6.47	15.41	220.12	4038 3P X 3.5 W/40T X 1.25		
RECEPTACLES < 10 kVA	1.00	1.95	4.25	3.00	10.00	220.44			
RECEPTACLES > 10 kVA	50%	0.64	1.29	1.25	3.00	220.44			
PAINT	1.00	12.20	16.94	10.40	46.54	---	BASED ON MCA		
WATER HEATER	1.25	7.40	7.40	13.00	27.96	402.13	STORAGE TANK (120 GAL @ 1.25)		
STON	1.00	1.20				205.14(15)			
ELEVATOR			7.81	7.81					
			29.74	36.53	36.92				
DEMAND kVA PER PHASE		29.1	29.4	29.8					

THE CALCULATED LIGHTING LOAD EXCEEDS THE CONNECTED LIGHTING LOAD.

PANEL B									
OUT	LOAD	BRK	LOAD kVA	PH	LOAD kVA	BRK	LOAD	OUT	
1	HP-1	20V/2	2.28	A	2.40	20V/2	AMB-1	2	
3			2.28	B	2.40			4	
5	HP-2	20V/2	2.28	C	2.40	20V/2	AMB-2	6	
7			2.28	A	2.40			8	
9	HP-3	20V/2	2.28	B	3.12	20V/2		10	
11			2.28	C	3.12			12	
13	HP-4	20V/2	2.28	A	3.12	20V/2	AMB-4	14	
15			2.28	B	3.12			16	
17	SPACE		0.00	C	1.45		UNIT HEATER	18	
19	SPACE		0.00	A	1.45			20	
21	SPACE		0.00	B	0.00		SPACE	22	
23	SPACE		0.00	C	0.00		SPACE	24	
25	SPACE		0.00	A	0.00		SPACE	26	
27	SPACE		0.00	B	0.00		SPACE	28	
29	SPACE		0.00	C	0.00		SPACE	30	
31	SPACE		0.00	A	0.00		SPACE	32	
33	SPACE		0.00	B	0.00		SPACE	34	
35	SPACE		0.00	C	0.00		SPACE	36	
37	SPACE		0.00	A	0.00		SPACE	38	
39	SPACE		0.00	B	0.00		SPACE	40	
41	SPACE		0.00	C	0.00		SPACE	42	
			kVA	PH	AMPS				
			13.2	A	144				
			16.9	B	191				
			12.4	C	103				
VOLTAGE/PHASE									
BUS RATING									
MAIN CIRCUIT BREAKER RATING									
AFC RATING									
SERVICE ENTRANCE RATED									
ENCLOSURE									
MOUNTING									



Kilian Engineering, Inc.
 17-4-20
 SEAL
 MICHAEL W. KILIAN
 ELECTRICAL ENGINEER
 STATE OF NEW YORK

NEW CONSTRUCTION FOR
OAKWOOD COMMUNITY DEVELOPMENT CENTER
 210 OAKWOOD STREET
 WEST PALM BEACH, FL 33411

REVISION:

ISSUED:

DATE: 12/15/2018

BY: [Signature]

CHECKED BY: [Signature]

DESIGNED BY: [Signature]

DRAWN BY: [Signature]

PANEL SCHEDULES AND POWER RISER

SHEET NO. 0400

E4

FIRE ALARM GENERAL NOTES

- THE FOLLOWING ASSUMPTIONS SHALL APPLY TO NOTES AND PLANS:
PC - PLUMBING CONTRACTOR, EC - ELECTRICAL CONTRACTOR,
MC - MECHANICAL CONTRACTOR, SC - SCHEDULING CONTRACTOR,
FAC - FIRE ALARM SYSTEM CONTRACTOR.
- "NOTED" MEANS TO FURNISH AND INSTALL.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, ETC. AS NECESSARY FOR A COMPLETE AND OPERATIONAL FIRE ALARM SYSTEM.
- THESE DRAWINGS ARE FOR INFORMATION AND DO NOT SHOW ALL WORK DETAILS AND DETAIL LOCATIONS. THE FAC SHALL ALLOW FOR ADDITIONAL WORK TO ACCOMMODATE INTERFERENCES WITH PLANNED AND UNPLANNED AND SHALL INCLUDE SUCH CONFLICTS IN THEIR BID.
- THE SUCCESSFUL FIRE ALARM BIDDER SHALL PROVIDE CONSTRUCTION DOCUMENTS TO THE AUTHORITY HAVING JURISDICTION FOR APPROVAL, INCLUDING ALARM CONTROLS AND TROUBLE SHOOTING EQUIPMENT, AMMUNITION, POWER CONNECTIONS, BATTERY CALCULATIONS, VOLTAGE DROP CALCULATIONS, CONDUCTOR TYPES AND SIZES, LOCATIONS OF INTERFERENCE AND INTERFERENCE APPLIANCES, AND INTERFERENCE SCHEDULE NUMBERS, AND LOCATING INFORMATION FOR ALL EQUIPMENT, DEVICES AND MATERIALS.
- ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 72 AND APPLICABLE SECTIONS OF NFPA 70 AND 13.
- CONDUIT, CONDUCTORS, BUSES, AND WIRING SHALL BE THE SAME AS THOSE SPECIFIED IN THE ELECTRICAL SYSTEM.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UL LABELS OR EQUIVALENT WHERE APPLICABLE.
- THE FIRE ALARM SYSTEM SHALL BE OF THE ADDRESSABLE TYPE WITH EACH NOTING DEVICE ADDRESSING INDIVIDUALLY TO THE FIRE ALARM CONTROL PANEL. ONLY THE MANUFACTURER OR AN AUTHORIZED DISTRIBUTOR WHO STOCKS SPARE COMPONENTS FOR THE ENTIRE SYSTEM SHALL CONDUCT, PROVIDE, OR TEST THE ADDRESSABLE FIRE ALARM SYSTEM. ALL TROUBLESHOOTING PERFORMANCE DATA SHALL BE TURNED AND MANUALLY CONTROLLED BY THE MANUFACTURER FOR THE MODEL OF SYSTEM BEING INSTALLED. COPIES OF THEIR CERTIFICATION SHALL BE AVAILABLE UPON REQUEST. THE MANUFACTURER OR AUTHORIZED DISTRIBUTOR SHALL STORE THE COMPLETE PROGRAMMING FOR THE ADDRESSABLE SYSTEM ON A COMPUTER DISK OR DISKETTE OR OTHER MEDIA AND PROVIDE APPROPRIATELY. A COPY OF THE PROGRAM SHALL BE MADE AVAILABLE TO THE OWNER WHEN THE SYSTEM IS COMPLETED. THE MANUFACTURER OR AUTHORIZED DISTRIBUTOR SHALL MAINTAIN SOFTWARE VERSION RECORDS. WHEN THE SYSTEM IS INSTALLED AND PROVIDED THIS SERVICES IF THE MANUFACTURER RELEASES A NEW VERSION OF THE SOFTWARE DURING THE WARRANTY PERIOD, PROVIDE A SYSTEM FUNCTION MANUAL THAT LISTS THE FIRE ALARM CONTROL PANEL RESPONSE FOR EACH NOTING DEVICE.
- THE SYSTEM SHALL BE MANUAL, PULL, NON-CODED, AND SUPERSEDED (INCLUDING CONTROL CIRCUITS). ALL EQUIPMENT SUPPLIES MUST BE LISTED FOR ITS PARTICULAR USE AND INSTALLED IN ACCORDANCE WITH ANY RESTRICTIONS APPLICABLE TO ITS LISTING.
- THE SYSTEM SHALL BE ELECTRICALLY SUPERSEDED FOR OPEN OR CLOSING FAULT CONDITIONS IN DETECTION, ALARM, AND CONTROL CIRCUITS. THE REMOVAL OF ANY DETECTION DEVICE, ALARM APPLIANCE, PULL-TO-RESET SYSTEM, MODEL, OR CONTROL CIRCUIT CONNECTION SHALL ALSO ACTIVATE A TROUBLE SIGNAL. THE FIRE ALARM SIGNAL SHALL PROVIDE TROUBLE SIGNALS, BUT THE PRE-ALARM TROUBLE SIGNAL SHALL EXPIRE WHEN THE PANEL IS RESET.
- PROVIDE EACH SMOKE LINE CIRCUIT WITH A MINIMUM OF 30 POUCEY SPARE ADDRESSES FOR FUTURE USE.
- THE CONNECTING WIREWAY REMAINS REMAINING WIRING AND THEIR CONTACT TYPE WIRING DEVICES MUST BE SUPERSEDED.
- THE FIRE ALARM CONTROL PANEL (FACP) POWER SUPPLY MUST

- HAVE A CONTINUOUS RATING ADEQUATE TO POWER ALL DEVICES AND FUNCTIONS IN FULL ALARM CONTINUOUSLY. BATTERIES MUST MEET THE APPROPRIATE NFPA CAPACITY REQUIREMENTS. THE FACP SHALL INCLUDE AN ALARM SILENCE SWITCH AND SHALL BE EQUIPPED WITH THE SUCCESSFUL ALARM RESPONSE FURNISHES THE ALARM SILENCING AND RESET FEATURE SHALL NOT REVERSE OR BROADCASTING UNITS OUTSIDE. A SUPERSEDED "FAC SYSTEM SILENCING" SWITCH MUST BE PROVIDED IN THE FAC WITH ITS NORMAL POSITION INDICATED.
- ALL CONNECTIONS MADE AT THE FACP MUST BE BY THE MANUFACTURER'S AUTHORIZED FACTORY TRAINED PERSONNEL (NOT THE ELECTRICAL CONTRACTOR).
- PERMANENT WIRE WIRING SHALL BE USED TO IDENTIFY ALL CONNECTIONS AND TERMINATIONS FOR EACH CIRCUIT. ALL FIRE ALARM JUNCTION BOXES SHALL BE SPARKED RED AND LABELED "FIRE ALARM" TAPPING BLOCKS SHALL BE PROVIDED IN ALL JUNCTION BOXES WHERE CONNECTIONS ARE MADE. IDENTIFICATION AT SPICES SHALL INDICATE WHICH CONDUCTOR LEADS TO THE FACP.
- THE FOLLOWING COLOR SCHEME SHALL BE USED FOR SYSTEM CONDUCTORS:
17.1. NOTING CIRCUITS (OTHER THAN SMOKE) RED & WHITE
17.2. NOTING CIRCUITS (SMOKE DETECTION) VIOLET & GRAY
17.3. NOTIFICATION APPLIANCE CIRCUITS BLUE & BLACK
17.4. AIR HANDLING SHUT DOWN CIRCUITS YELLOW
17.5. DOOR CONTROL CIRCUITS BROWN
17.6. ELEVATOR CIRCUITS BROWN
- LOW VOLTAGE WIRING SHALL NOT BE INSTALLED IN ANY RACQUY CONTAINING POWER OR LINE VOLTAGE CONTROL WIRING WITHIN THE FAC. ANY AC CONTROL WIRING SHALL BE PROPERLY SEPARATED FROM OTHER CIRCUITS AND THE ENCLOSURE SHALL BE LABELED TO ADVERTISE PERSONNEL TO THE WORK.
- DEVICES SHALL BE INSTALLED AS INDICATED ON THE PLANS AND AS DETAIL. WHENEVER POSSIBLE, DEVICES SHOULD BE CENTERED ON SPICES OR LOCATED ABOVE GATED CIRCLES. SMOKE DETECTORS SHALL NOT BE LOCATED WITHIN THREE (3) FEET OF AN HVAC SUPPLY OR RETURN. INSTALL WALL MOUNTED SMOKE DETECTORS A MINIMUM OF TWELVE (12) INCHES FROM CEILING.
- PROVIDE A PERMANENT WARNING ON EACH DEVICE INSTALLED NOTICING THE DEVICE NUMBER AND ADDRESSABLE LOOP NUMBER. PROVIDE THE SAME INFORMATION INSIDE THE BOX FOR EACH DEVICE. ALL HVAC EQUIPMENT SHALL CAUTION AGAIN ACTIVATION OF ANY FIRE ALARM DEVICE.
- NOTIFY FACP SWITCHES, VALVE TRIPPER, SHUTTERS, AND PRESSURE SWITCHES SHALL BE PROVIDED AND INSTALLED BY THE SPRINKLER CONTRACTOR, CONNECTED BY THE ELECTRICAL CONTRACTOR, AND SUPERSEDED BY THE FAC.
- TESTING SHALL INCLUDE ALL TESTS REQUIRED FOR THE ELECTRICAL SYSTEMS IN ADDITION TO TESTING AND CERTIFICATION OF THE FIRE ALARM SYSTEM SUPPLIER. PROVIDE INSTRUCTION MANUALS TO OWNER PERSONNEL.
- FACP SHALL VERIFY THAT ALL VISIBLE NOTIFICATION DEVICES ARE SYNCHRONIZED PER NFPA 72.
- NOTIFY DEVICES SHALL BE MINIMUM 10 DIA. AND MAXIMUM 100 DIA. THROUGHOUT THE ZONE. FLUORESCENT DEVICES AS NECESSARY. MAINTAIN MINIMUM 100 DIA. IN EQUIPMENT AND MECHANICAL ROOMS.
- DEVICES MUST MEET MINIMUM REQUIREMENTS OF THE NFPA AS APPLICABLE.
- THE ADDRESSABLE ALARM NOTIFICATION APPLIANCE SHALL PROVIDE A SOUND PRESSURE LEVEL OF 15 DECIBELS (DBA) ABOVE THE NOISE AMBIENT SOUND LEVEL OF 5 DBA ABOVE THE MAXIMUM SOUND LEVEL DURING A DURATION OF AT LEAST 60 SECONDS. MICROPHONE IS GREATER, IN EVERY OCCUPABLE SPACE WITHIN THE BUILDING.

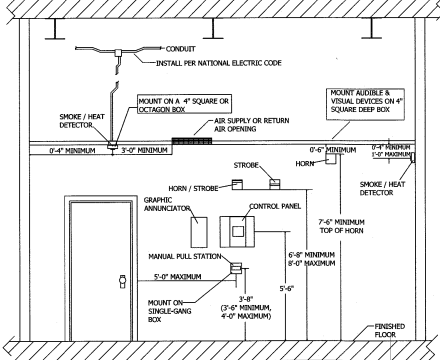
SYMBOL	NFPA 720 SYMBOL, GUIDE	DESCRIPTION
	FACP	FIRE ALARM CONTROL PANEL
	FAC	FIRE ALARM ANNUNCIATOR
	WFS	WATER FLOW SWITCH
	VSS	VALVE SUPERVISORY SWITCH (CAMPER SWITCH)
	HSD	HEAT DETECTOR/SENSOR (RATE OF RISE)
	PS	PULL STATION / FIRE ALARM
	SD	SMOKE DETECTOR/SENSOR (RENTAL PHOTOELECTRIC TYPE)
	SD	SMOKE ALARM (SINGLE STATION/RESIDENTIAL)
	SD	DUCT SMOKE DETECTOR (NFPA 72, SECTION 17.7.5.5)
	SD	AUDIBLE ONLY APPLIANCE (WALL MOUNTED/REEL OUTSIDE SPRINKLERS)
	SD	VISUAL ONLY APPLIANCE (WALL MOUNTED)
	SD	VISUAL ONLY APPLIANCE (CEILING MOUNTED)
	SD	AUDIBLE ONLY APPLIANCE (CEILING MOUNTED)
	SD	VISUAL ONLY APPLIANCE (CEILING MOUNTED)
	SD	END OF LINE RESISTOR

OVERALL MATRIX

FIRE ALARM SYSTEM INPUT/OUTPUT MATRIX

SYSTEM INPUTS	SYSTEM OUTPUTS															
	NOTIFICATION / SUPERSEDED FIRE SAFETY CONTROL															
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
4	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
5	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
6	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
9	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
10	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
11	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
12	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
13	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
14	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
15	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
16	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
17	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
18	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
19	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
20	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
21	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
22	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
23	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
24	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
25	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
26	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
27	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1

NFPA 72 AND ADA DEVICE INSTALLATION REQUIREMENTS



AFFP
229 Near Fisher

Affidavit of Publication

STATE OF NORTH SS
CAROLINA }
COUNTY OF GUILFORD }

Kimberly Cook, being duly sworn, says:

That she is the billing clerk of the The High Point Enterprise, a daily newspaper of general circulation, printed and published in High Point, Guilford County, North Carolina; that the publication, a copy of which is attached hereto, was published in the said newspaper on

February 19, 2021

That said newspaper was regularly issued and circulated on those dates.

SIGNED:

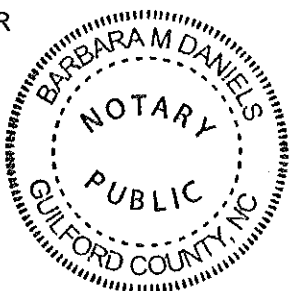
Kimberly Cook
the billing clerk

Subscribed to and sworn to me this 19th day of February 2021.

Barbara M Daniels
Barbara M Daniels, Notary, Guilford County, North Carolina
My commission expires: February 01, 2022

30145612 30926549

CITY OF HP CITY MANAGER
PO BOX 230
HIGH POINT, NC 27261



NOTICE OF NEGOTIATED OFFER TO PURCHASE PROPERTY BY THE CITY OF HIGH POINT IN ACCORDANCE WITH N.C.G.S. 160A-269

Please take notice that on the 15th day of February, 2021 the High Point City Council proposes to sell property owned by the City of High Point ("City") particularly described as follows:

Being a parcel of land consisting of approximately 2,059 square feet (0.04 acre) identified as Parcel 188762, 229 Near Fisher Avenue, High Point, Guilford County, North Carolina, recorded in Deed Book 2397, Page 677 of the Guilford County Register of Deeds.

The terms and conditions are such that:

The City is in receipt of a negotiated proposal/bid to purchase the above-described property for the sum of \$1,500.00, and said bidder has placed the required deposit of five (5%) percent of said bid offer with the City Clerk as by law provided; and

Within ten (10) days from the publication date of this offer, any person may raise the bid by not less than ten percent (10%) of the first thousand dollars of the offer and five percent (5%) of the remainder and shall deposit with the City Clerk a sum equal to five percent (5%) of the increased bid, and the property shall be re-advertised on the basis of the increased bid.

This notice is published in accordance with N.C.G.S. 160A-269.

Lisa B. Vierling
High Point City Clerk
(336) 883-3536

Feb. 19, 2021

CITY OF HIGH POINT

AGENDA ITEM



Title: Contract Award to Purchase and Install a New Parking Access and Revenue Control System

From: Mark McDonald, Transportation Director

Meeting Date: Monday February 15, 2021

Public Hearing: No

Advertising Date: NA

Advertised By: NA

Attachments: Cost Proposal for Main Street (hotel) Garage Upgrades from Designa Southern Time (contractor)

PURPOSE:

Consideration of a contract for the purchase and installation of a new parking access and revenue control (PARC) system at the City's South Main Street (hotel) parking facility.

BACKGROUND:

The City owns three parking garages in the central business district: the Parking Plaza (691 spaces), the Broad Street garage (256 spaces), and the South Main Street garage (252 spaces). PARC system upgrades were installed and implemented by Designa Southern Time at the Plaza and Broad Street in 2018, and funding is now available to complete the base system improvements for S. Main. This facility was leased and operated by the Red Lion Hotel (Inner Circle High Point, LLC) through calendar year 2019.

The existing system at the S. Main garage uses DOS-based software for ticketing, scanning, and fee computation. This system, as well as the gating equipment used at the entrances and exit, is about 35 years old and is no longer made or supported. It will not interface with the new system, and equipment failures are common. With replacement parts in very short supply, we must rely on the experience of our staff to keep this antiquated system running.

In 2017, the City contracted with Walker Parking Consultants for a parking needs assessment study. On the City's behalf, Walker requested proposals and pricing for several alternative combinations to upgrade the PARC system, to include new equipment, installation, testing, and training. Six (6) vendors submitted proposals, and of these, Designa Southern Time offered the best and most affordable equipment, service, and warranty package for our needs.

Designa Southern Time is based in Wilson, NC, with support services in Winston-Salem and Charlotte. We have worked with them in the past, and they have always been responsive to our needs. The fact that they can be on-site within a couple of hours is a definite plus.

BUDGET IMPACT:

Funds are available to complete the PARC system upgrades identified above for the Main Street garage.

RECOMMENDATION/ACTION REQUESTED:

The Transportation Department requests City Council's consideration and approval of a contract with Designa Southern Time for the purchase and installation of a new PARC system for the Main Street garage, in the amount of \$76,242. This contract includes Items 1 – 9 & 11 on the attached proposal. Extended service and parts warranties, as well as additional components and functional features, can be added to the system later, as desired.

Section 11 1236 - Appendix A - Price Tabulation Form
City of High Point, North Carolina

TOTAL BASE PRICE - Main Street Garage	
\$71,000.00	(Written in Numerals)
Seventy-One Thousand Dollars	(Written in Words)
Offering Company: Designa Southern Time	
Scott Penegar Name:	Signature:

BASE PRICE - UNIT PRICING

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
1	Entry lane w/Ticket Dispenser, Prox Card, Intercom.	2	\$10,749.00	\$21,498.00
2	Exit lane w/ Cashier station, EMV CC reader, intercom, and gooseneck stand w/ Prox reader and intercom.	1	\$20,999.00	\$20,999.00
3	Auto Gate (To Match Existing @ Plaza) w/ Detectors and barrier arm	3	\$3,710.00	\$11,130.00
4	Relocation of workstation from Broad St to Main St	1	\$400.00	\$400.00
5	Laser printer for workstation at Main St (line item 4 above)	1	\$250.00	\$250.00
6	Stock items per Specification 1.8 F	1	\$3,345.00	\$3,345.00
7	All Additional Equipment Cabinets and Junction Boxes.	1	\$2,096.00	\$2,096.00
8	Removal of Existing PARCS.	1	\$350.00	\$350.00
9	Documentation/Freight/Installation/Commissioning/Training.	1	\$10,932.00	\$10,932.00

TOTAL BASE PRICE

\$71,000.00

ADDITIONAL EQUIPMENT, FEES OR COSTS

10	Annual Recurring Costs After Two-Year Warrantee	1	\$0.00	\$0.00
11	Repair or replace "Lot Full" sign at Main St. Entry (Please define):	2	\$2,621.00	\$5,242.00
12		1	\$0.00	\$0.00
13		1	\$0.00	\$0.00

TOTAL Add items

\$5,242.00

ADD ALTERNATE 1 - PM and Service Contract (Base System Only)

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
14	Year Three.	1	\$3,422.00	\$3,422.00
15	Year Four.	1	\$3,422.00	\$3,422.00
16	Year Five.	1	\$3,422.00	\$3,422.00

ALTERNATE 1 THREE-YEAR TOTAL (Base System Only)

\$10,266.00

ADD ALTERNATE 2 - Extended Parts Warranty (Base System Only)

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
17	Year Three.	1	\$3,422.00	\$3,422.00
18	Year Four.	1	\$4,277.00	\$4,277.00
19	Year Five.	1	\$5,133.00	\$5,133.00
ALTERNATE 2 THREE-YEAR TOTAL (Base System Only)				\$12,832.00

ADD ALTERNATE 3 - Add CC Exit Verifier to High Street Exit - Parking Plaza

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
20	Credit Card Exit Verifier with Intercom and Prox Card (Reuse existing components from CR-120 as possible)	1	\$16,067.00	\$16,067.00
21	Documentation/Freight/Installation/Commissioning	1	\$1,175.00	\$1,175.00
ALTERNATE 3 TOTAL				\$17,242.00

ADD ALTERNATE 3 Continued (PM and Service / Warranty)

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
22	CC Exit Verifier Additional PM & Service Year 3	1	\$594.00	\$594.00
23	CC Exit Verifier Additional PM & Service Year 4	1	\$594.00	\$594.00
24	CC Exit Verifier Additional PM & Service Year 5	1	\$594.00	\$594.00
25	CC Exit Verifier Additional Parts Warrantee Year 3	1	\$792.00	\$792.00
26	CC Exit Verifier Additional Parts Warrantee Year 4	1	\$890.00	\$890.00
27	CC Exit Verifier Additional Parts Warrantee Year 5	1	\$989.00	\$989.00

ADD ALTERNATE 4 - Add CC Exit Verifier to Broad Street Exit - Broad Garage

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
28	Credit Card Exit Verifier with Intercom and Prox Card (Reuse existing components from CR-120 as possible)	1	\$16,067.00	\$16,067.00
29	Documentation/Freight/Installation/Commissioning	1	\$1,175.00	\$1,175.00
ALTERNATE 4 TOTAL				\$17,242.00

ADD ALTERNATE 4 Continued (PM and Service / Warranty)

ITEM #	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
30	CC Exit Verifier Additional PM & Service Year 3	1	\$594.00	\$594.00
31	CC Exit Verifier Additional PM & Service Year 4	1	\$594.00	\$594.00
32	CC Exit Verifier Additional PM & Service Year 5	1	\$594.00	\$594.00
33	CC Exit Verifier Additional Parts Warrantee Year 3	1	\$792.00	\$792.00
34	CC Exit Verifier Additional Parts Warrantee Year 4	1	\$890.00	\$890.00
35	CC Exit Verifier Additional Parts Warrantee Year 5	1	\$989.00	\$989.00

CITY OF HIGH POINT

AGENDA ITEM



Title: Riverdale Sewer Lift Station “West Force Main” - The Wooten Company-Amendment 1

From: Terry Houk – Public Services Director
Derrick Boone – Public Services Asst. Director

Meeting Date: February 15, 2021

Public Hearing: N/A

Advertising Date: N/A
Advertised By: On-Call

Attachments: Amendment I – West Force Main Project

PURPOSE:

To approve a contract amendment to the Wooten Company (Purchase Order 100877) for providing additional contract administration and construction observation services for the Riverdale Sewer Lift Station “West Force Main” project.

BACKGROUND:

The City of High Point transfers wastewater flow to the Eastside WWTP via the Riverdale Pump Station from areas located on the north side of the city. This is the City’s largest and most critical pump station. The proposed 36-inch force main will discharge wastewater from the Riverdale Pump Station into the Riverdale Gravity Sanitary Sewer (under construction) which ultimately will discharge wastewater to the Eastside Wastewater Treatment Plant. The design for the West Force Main Project is complete and is currently out for bid with a scheduled bid opening of February 18, 2021.

The original contract with Wooten Company (Purchase Order 100877) was for providing bidding and construction administration services for a 150-day construction schedule. The requested increase is needed to support an anticipated 300-day construction timeframe and includes the additional contract administration and part-time construction observation for the full 10 months of construction.

BUDGET IMPACT:

Funds for this project are available in the 2020-2021 Budget.

RECOMMENDATION / ACTION REQUESTED:

The Public Services Department recommends that Council approve contract Amendment I to The Wooten Company in the amount of \$120,000 increasing the amount of the contract to \$167,500 and that the appropriate City official and/or employee be authorized to execute all necessary documents.



February 3, 2021

Mr. Derrick Boone
Assistant Public Services Director
City of High Point
P. O. Box 230
High Point, NC 27261

**RE: West Force Main Project – Purchase Order 100877
REVISED - Amendment No. 1**

Dear Derrick:

This Amendment proposal is for additional services for the West Force Main Project to increase the Construction Time by 150 days for an anticipated 10-month construction period. The Additional Services being provided are an increase in Construction Administration for 150 days and half-time Construction Observation (Resident Project Representative) for the full 10 months.

These Additional Services will revise Purchase Order 100877 as follows:

	Original	Amendment No. 1	Revised Total
Bidding Services	\$7,500	\$0	\$7,500
Construction Administration (+ \$7,000/month)	\$40,000	\$30,000	\$70,000
Half-Time Construction Observation (+ \$9,000/month)	\$0	\$90,000	\$90,000
Total Additional Services	\$47,500	\$120,000	\$167,500

If this is satisfactory, please provide a Supplemental Agreement form for us to execute.
Feel free to contact our office if you have questions.

Regards,

THE WOOTEN COMPANY

W. Brian Johnson, PE
Vice President

300 S. Main Street,
Lower Level
Winston-Salem, NC 27101

336.722.5326
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